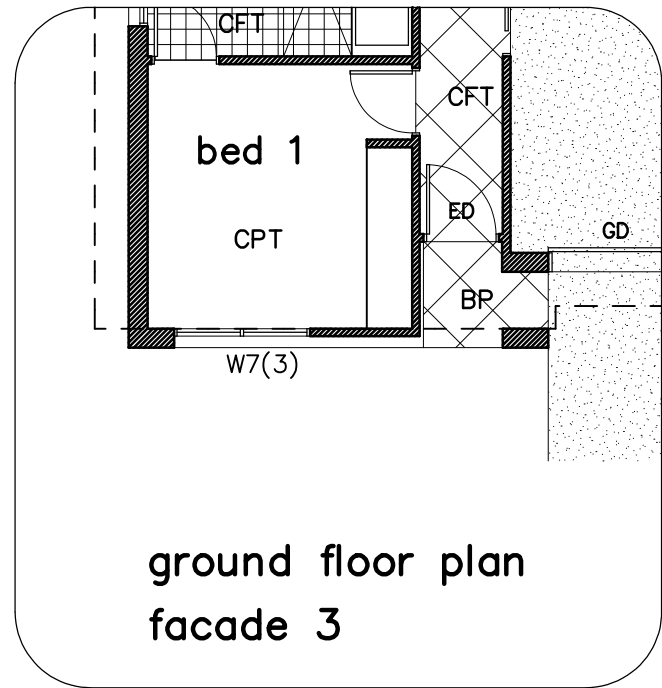
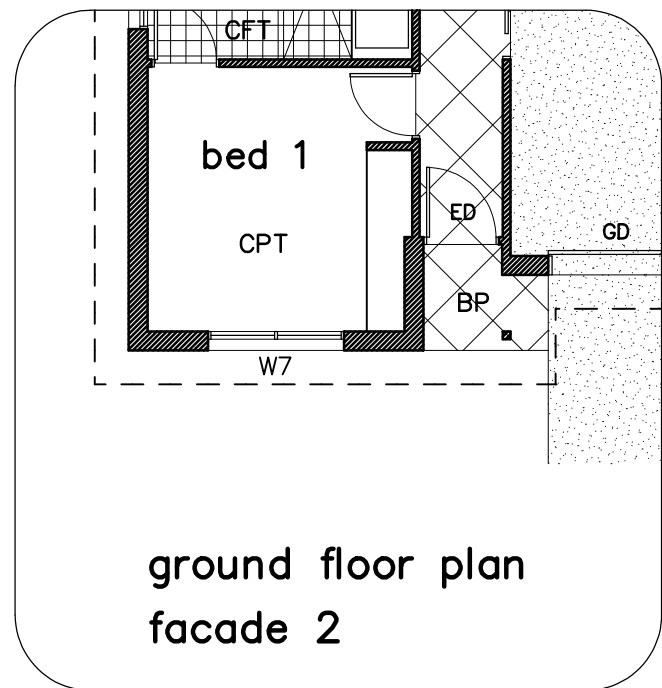
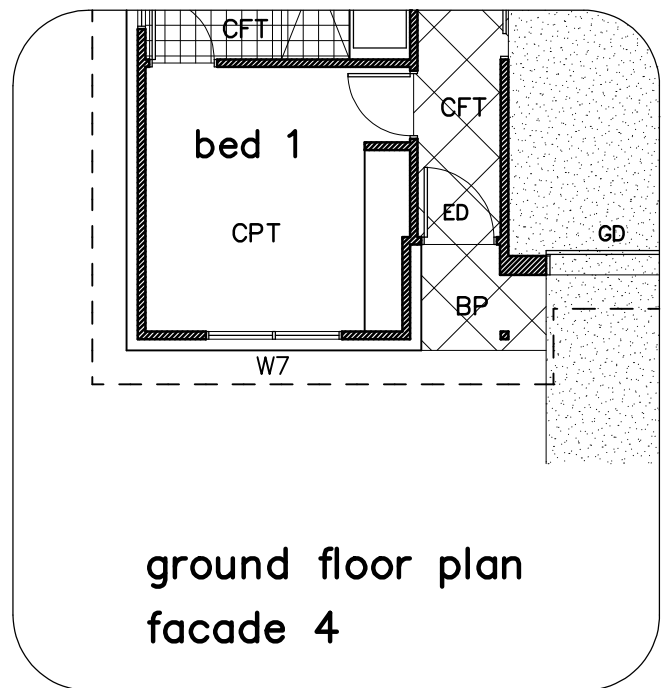




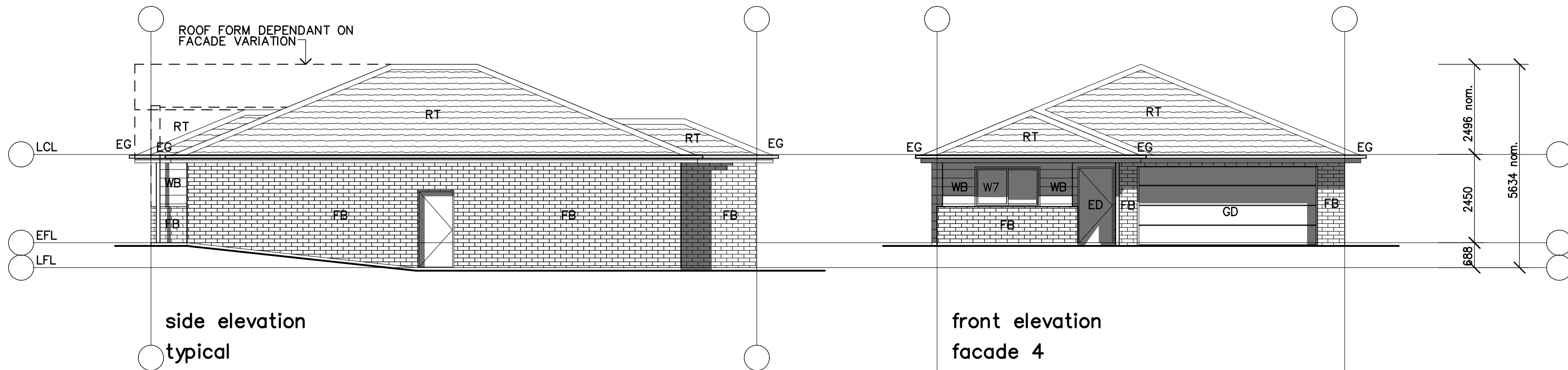
ground floor plan
facade 3



ground floor plan
facade 2

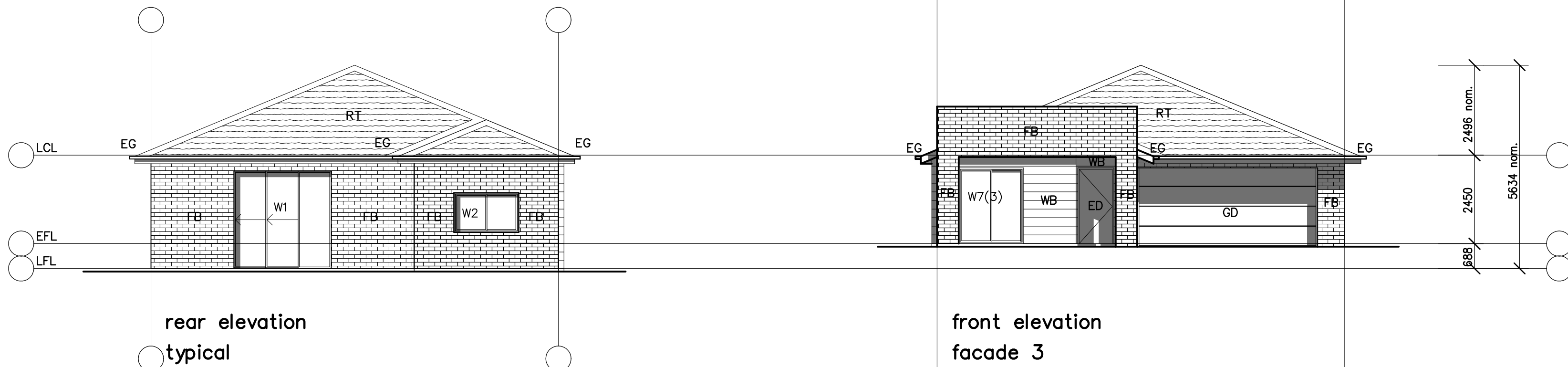


ground floor plan
facade 4



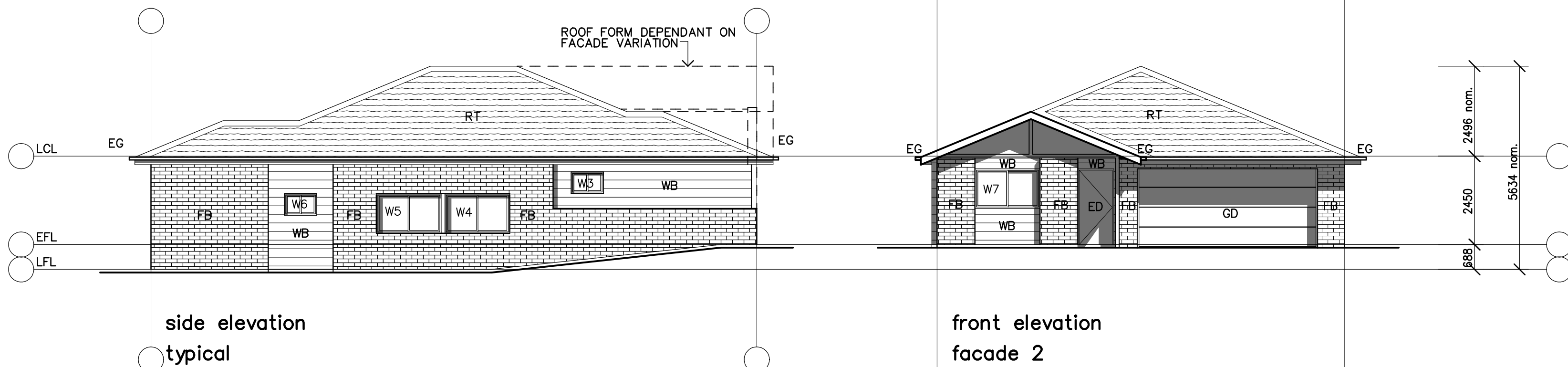
side elevation
typical

front elevation
facade 4



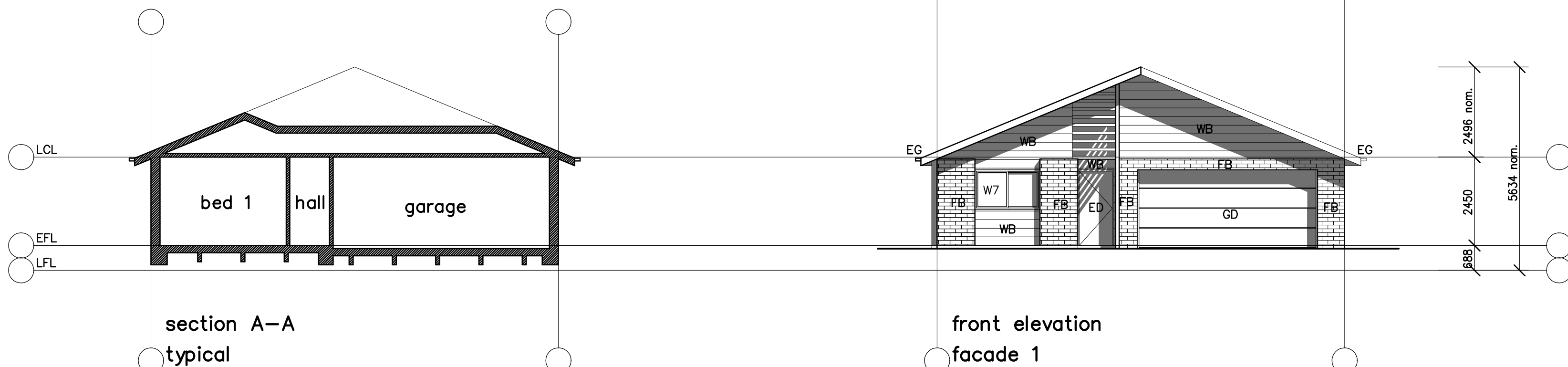
rear elevation
typical

front elevation
facade 3



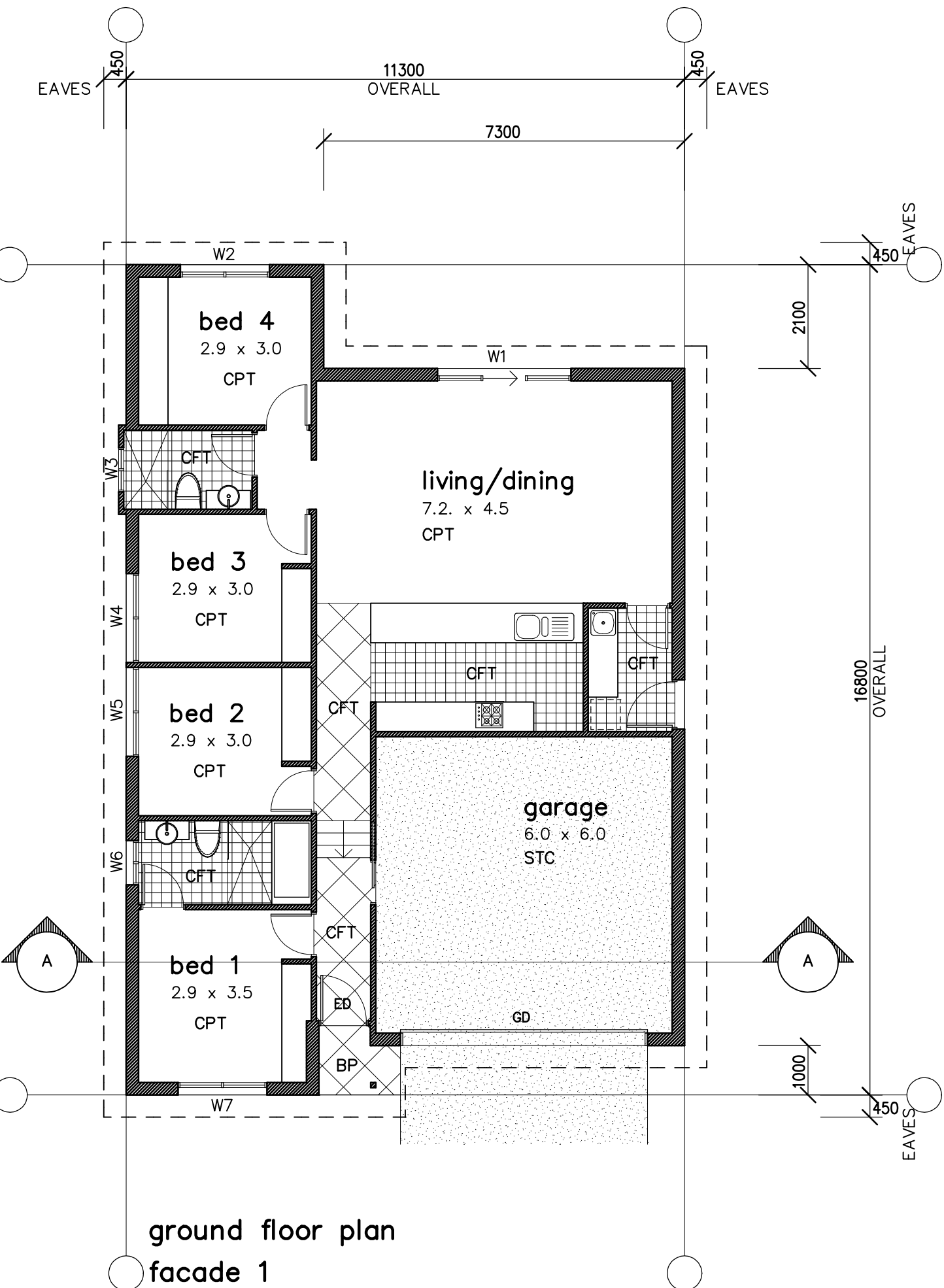
side elevation
typical

front elevation
facade 2



section A-A
typical

front elevation
facade 1



ground floor plan
facade 1

DT1 – ONE STOREY FREE STANDING
4 BEDROOM DWELLING

LEGEND:

AW	AWNING
BP	BRICK PAVING
CPT	CARPET
CFT	CERAMIC FLOOR TILES
ED	ENTRY DOOR
EFL	ENTRY FLOOR LEVEL
EG	EAVES GUTTER
FB	FACE BRICK
FCL	FINISHED CEILING LEVEL
GD	GARAGE DOOR
LCL	LIVING CEILING LEVEL
LFL	LIVING FLOOR LEVEL
MR	METAL ROOFING
RT	ROOF TILE
STC	STEEL TROWELLED CONCRETE
TS	TIMBER SCREEN
UCL	UPPER CEILING LEVEL
UFL	UPPER FLOOR LEVEL
W.	WINDOW..
WB	TIMBER WEATHERBOARDS

BASIX:

FOR BASIX REQUIREMENTS REFER TO
BASIX CERTIFICATE AND SPECIFICATION
BLOCKS LISTED ON SHEET A01.

WINDOW SCHEDULE – DT1

WINDOW	SIZE (W x H)	SILL
W1	2700 x 1800	0
W2	2700 x 1800	0
W3	1800 x 1100	1000
W4	900 x 600	1500
W5	1800 x 1100	1000
W6	1800 x 1100	1500
W7	1800 x 1000	1000
W7(3)	1800 x 2100	0

All dimensions are in millimeters unless otherwise shown. All levels are in metres to AHD unless otherwise noted. Work to figured dimensions. Do not scale from drawings. Check all dimensions on site and report any discrepancies to Shaddock Architects prior to construction or fabrication of any item. This drawing is to be read in conjunction with the total documentation package.

28	AMENDED FOR DEVELOPMENT APPLICATION	12.09.2019
27	FOR COORDINATION	16.05.2019
26	FOR COORDINATION	9.05.2019
No.	REVISION	DATE

LOCATION
LOT 1, DP 349727,
27–61 NIKKO ROAD, WARNERVALE

CLIENT
KINGSTON PROPERTY FUND No. 2 PTY LTD

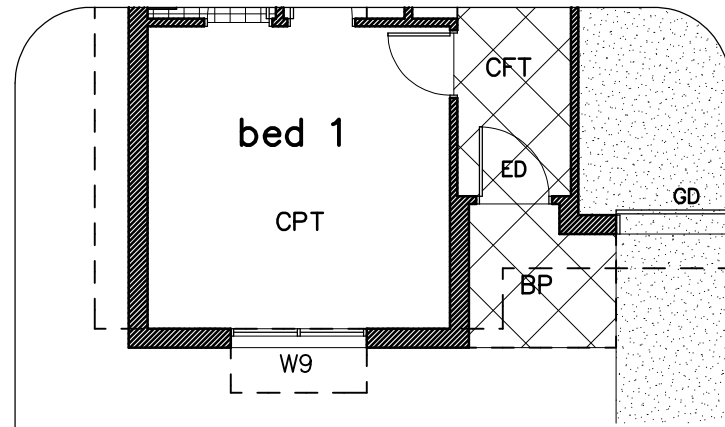
PROJECT
HOUSING DEVELOPMENT

DRAWING TITLE
DT1 – DWELLING TYPE 1
TYPICAL PLANS & ELEVATIONS

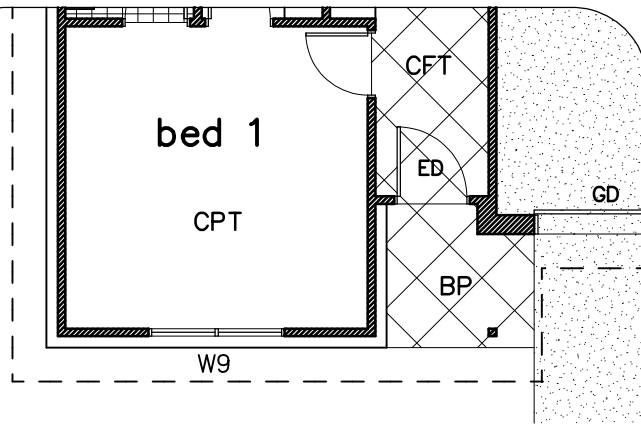
SCALE 1:100 at A1 No. IN SET 09 of 28 PROJECT No. 1028	DWG No. A09
---	----------------

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mail@shaddockarchitects.com
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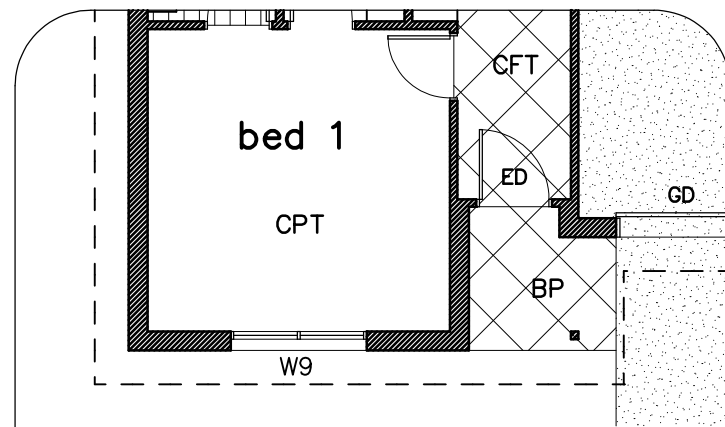
SHADDOCK
ARCHITECTS



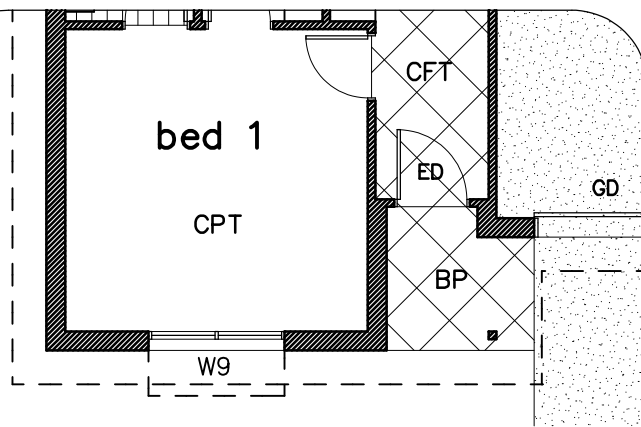
ground floor plan
facade 3



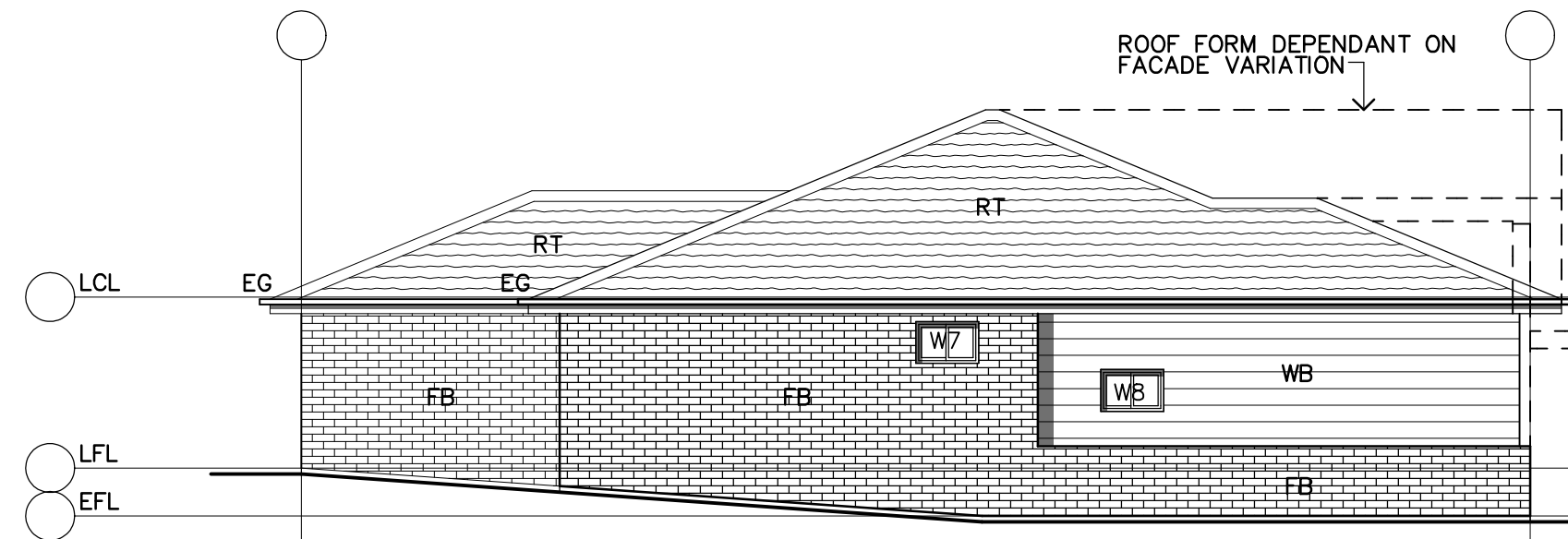
ground floor plan
facade 4



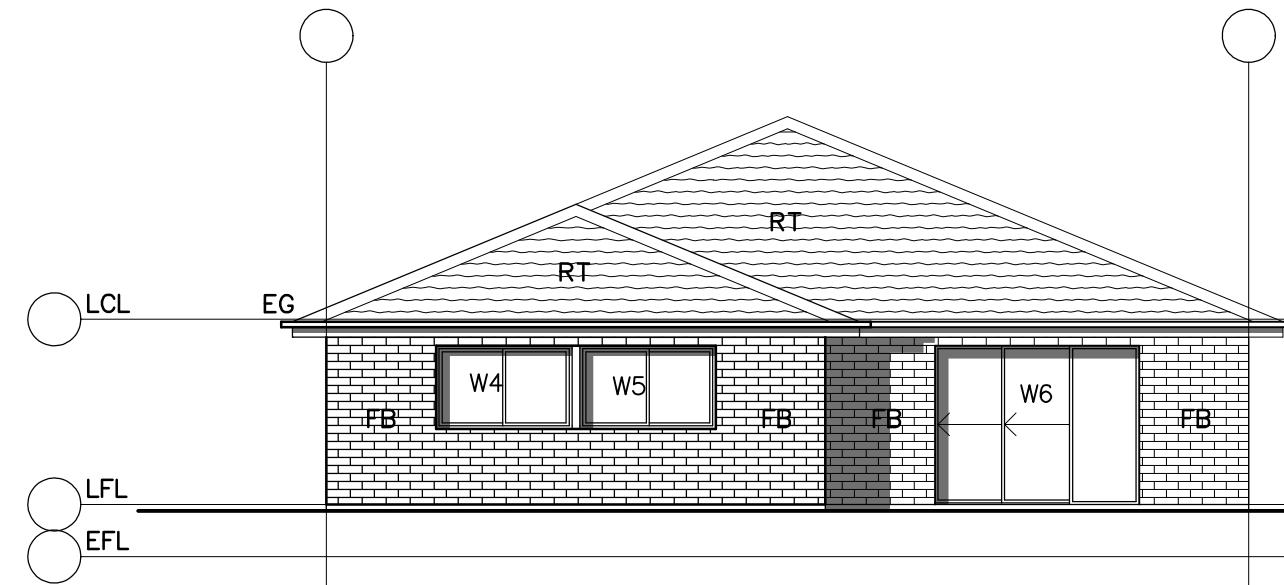
ground floor plan
facade 2



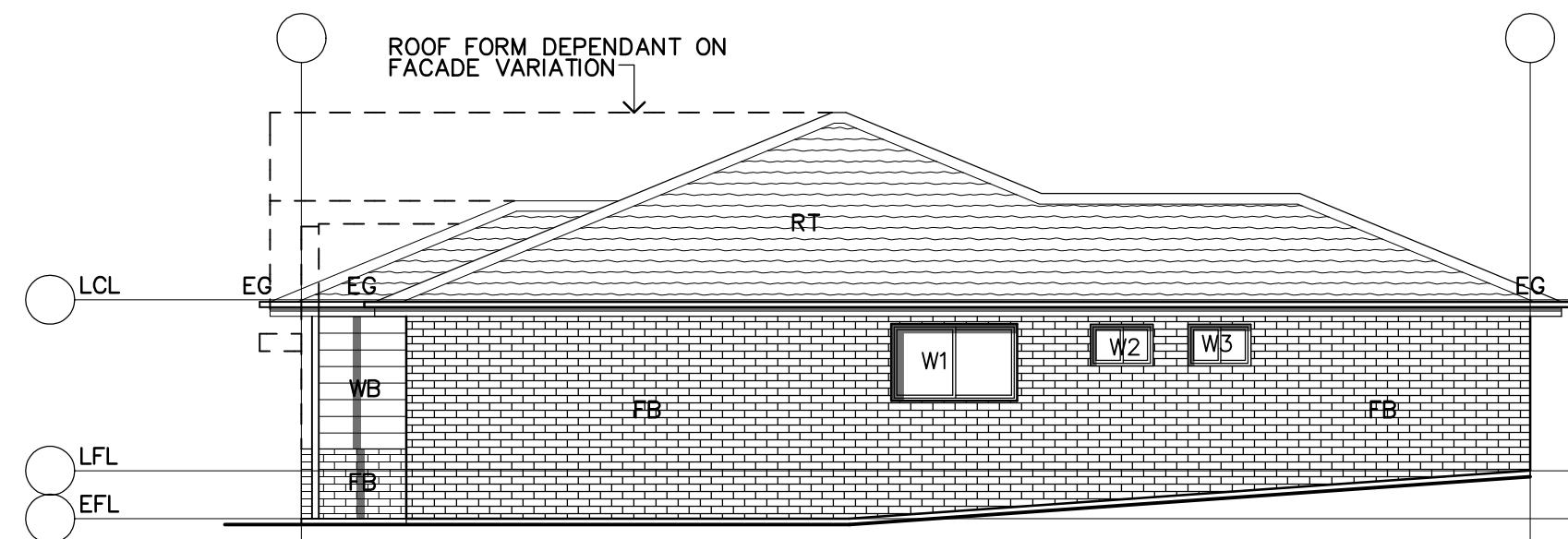
ground floor plan
facade 5



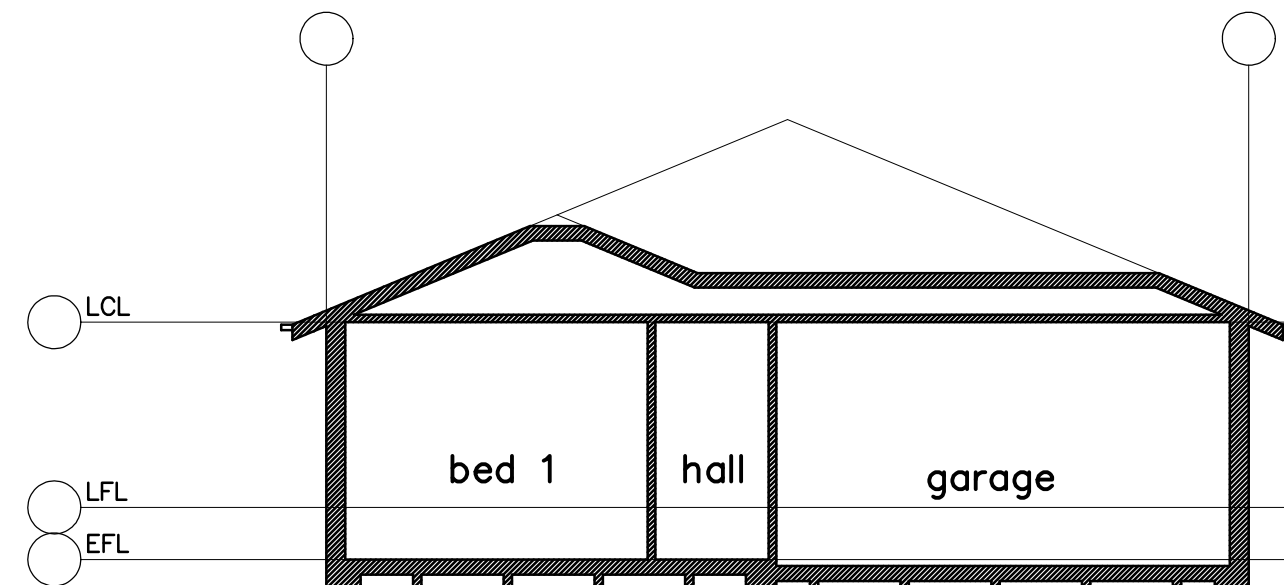
side elevation
typical



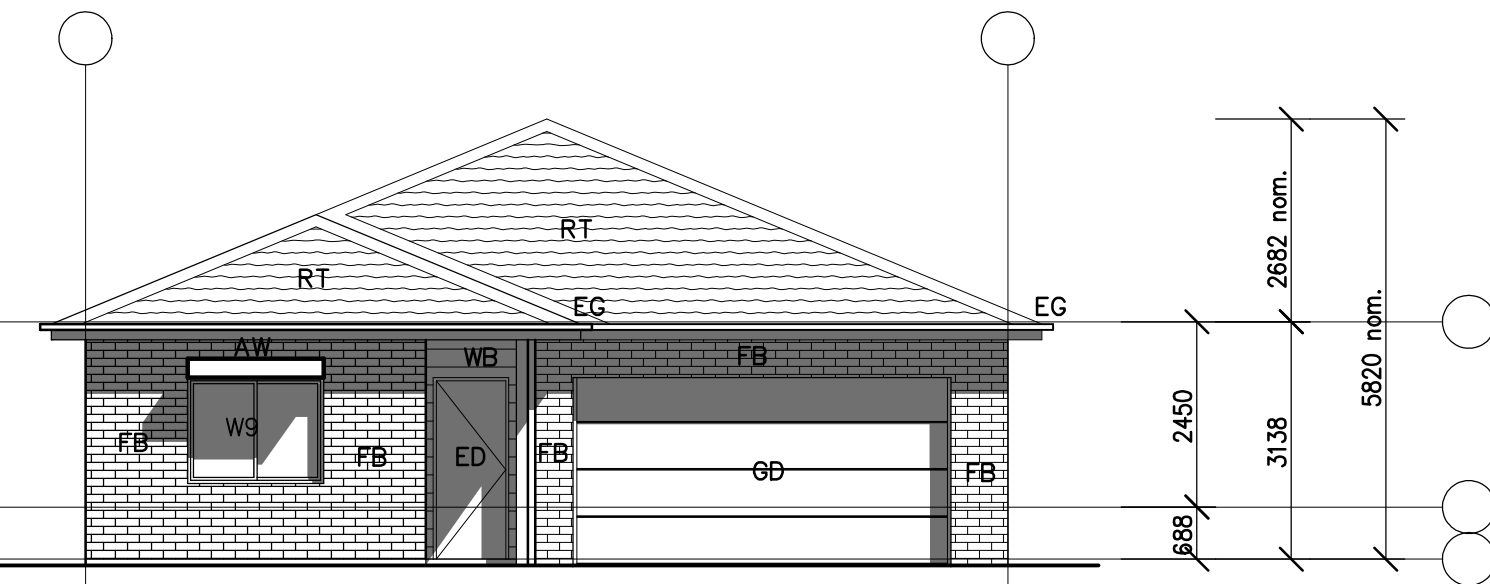
rear elevation
typical



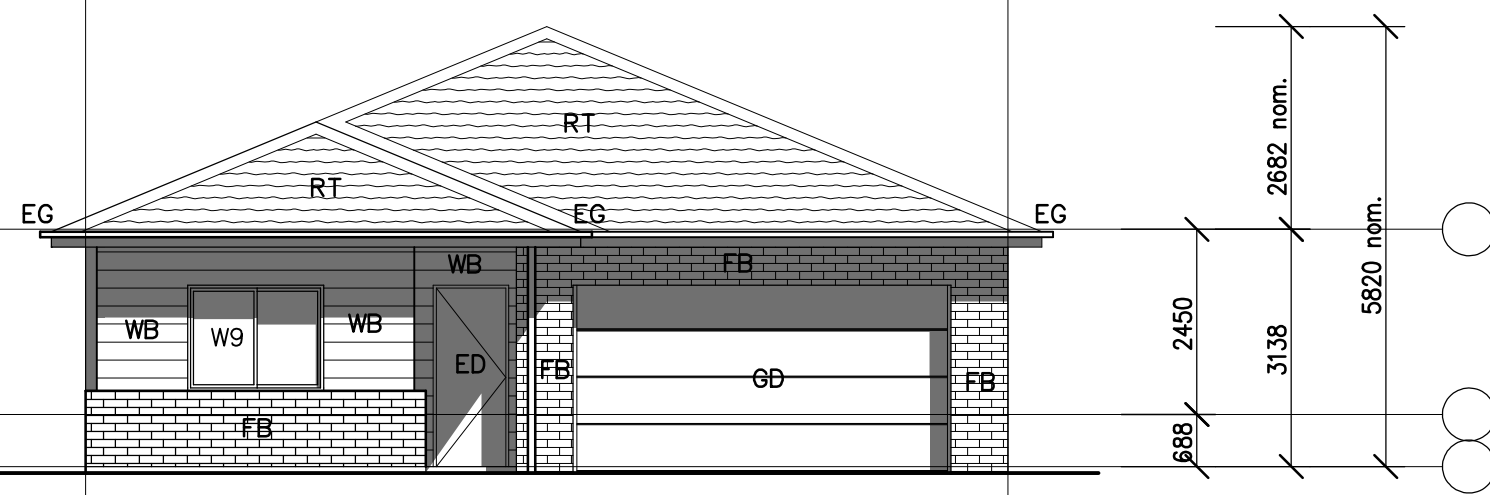
side elevation
typical



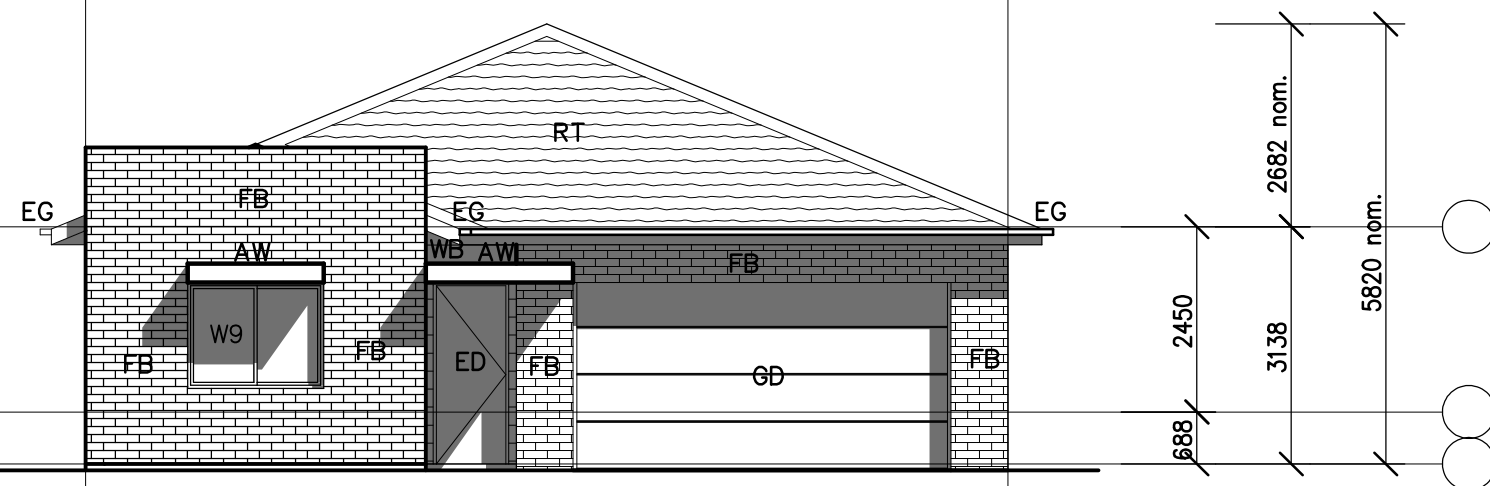
section B-B
typical



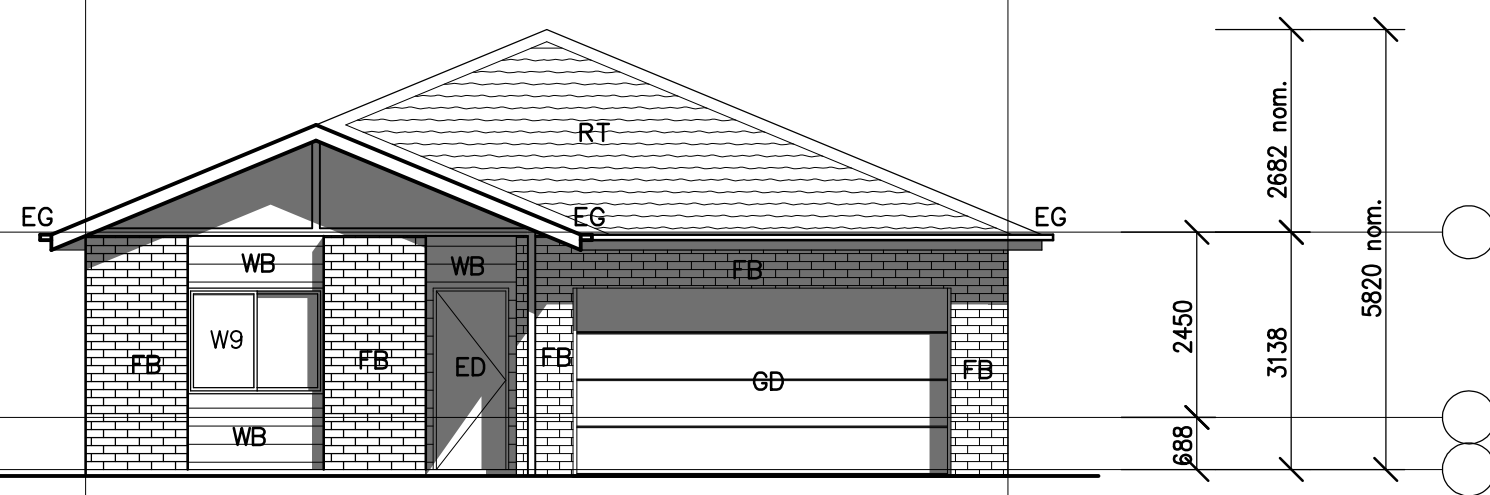
front elevation
facade 5



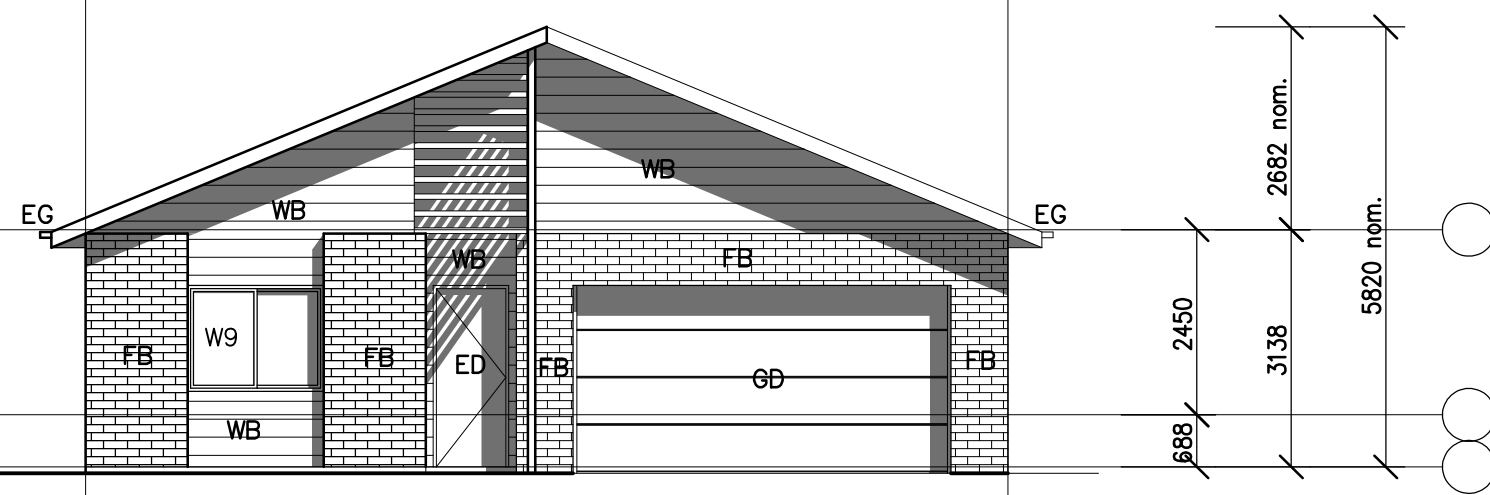
front elevation
facade 4



front elevation
facade 3



front elevation
facade 2



front elevation
facade 1

LEGEND:

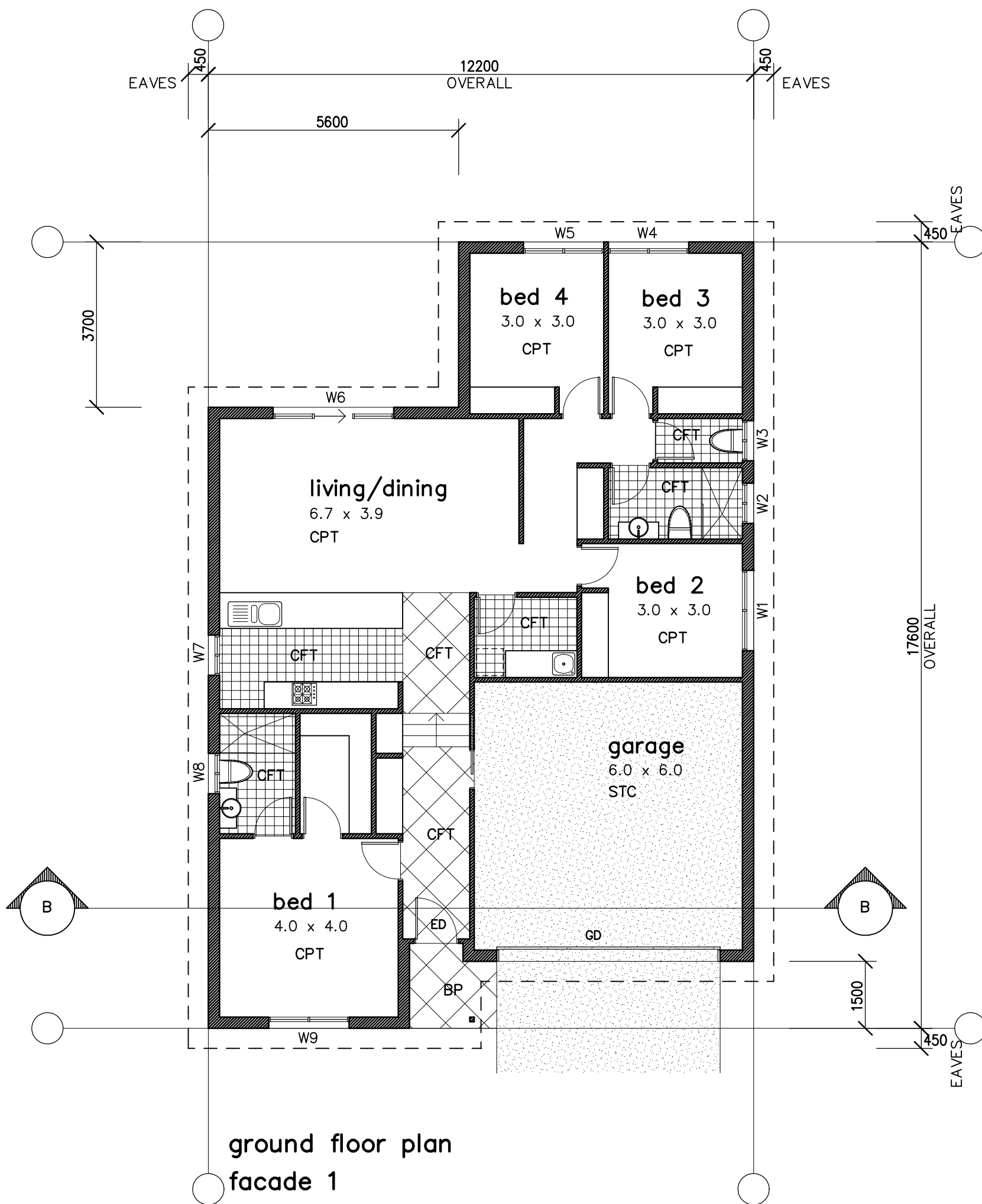
AW	AWNING
BP	BRICK PAVING
CPT	CARPET
CFT	CERAMIC FLOOR TILES
ED	ENTRY DOOR
EFL	ENTRY FLOOR LEVEL
EG	EAVES GUTTER
FB	FACE BRICK
FCL	FINISHED CEILING LEVEL
GD	GARAGE DOOR
LCL	LIVING CEILING LEVEL
LFL	LIVING FLOOR LEVEL
MR	METAL ROOFING
RT	ROOF TILE
STC	STEEL TROWELLED CONCRETE
TS	TIMBER SCREEN
UCL	UPPER CEILING LEVEL
UFL	UPPER FLOOR LEVEL
W.	WINDOW...
WB	TIMBER WEATHERBOARDS

BASIX:

FOR BASIX REQUIREMENTS REFER TO
BASIX CERTIFICATE AND SPECIFICATION
BLOCKS LISTED ON SHEET A01.

WINDOW SCHEDULE - DT2

WINDOW	SIZE (W x H)	SILL
W1	1800 x 1100	1000
W2	900 x 600	1500
W3	900 x 600	1500
W4	1800 x 1100	1000
W5	1800 x 1100	1000
W6	2700 x 1800	0
W7	900 x 600	1500
W8	900 x 600	1500
W9	1800 x 1400	1000



ground floor plan
facade 1

DT2 - ONE STOREY FREE STANDING 4 BEDROOM DWELLING

All dimensions are in millimeters unless otherwise shown. All levels are in metres to AHD unless otherwise noted. Work to figured dimensions. Do not scale from drawings. Check all dimensions on site and report any discrepancies to Shaddock Architects prior to construction or fabrication of any item. This drawing is to be read in conjunction with the total documentation package.

28	AMENDED FOR DEVELOPMENT APPLICATION	12.09.2019
27	FOR COORDINATION	16.05.2019
26	FOR COORDINATION	9.05.2019
No.	REVISION	DATE

LOCATION

LOT 1, DP 349727,
27-61 NIKKO ROAD, WARNERVALE

CLIENT

KINGSTON PROPERTY FUND No. 2 PTY LTD

PROJECT

HOUSING DEVELOPMENT

DRAWING TITLE

DT2 - DWELLING TYPE 2
TYPICAL PLANS & ELEVATIONS

SCALE

1:100 at A1

No. IN SET

10 of 28

PROJECT No.

1028

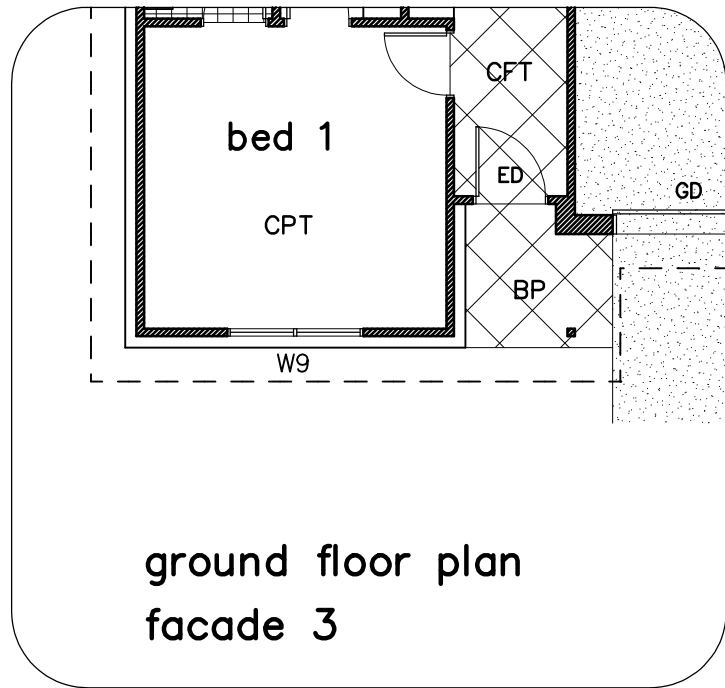
DWG No.

A10

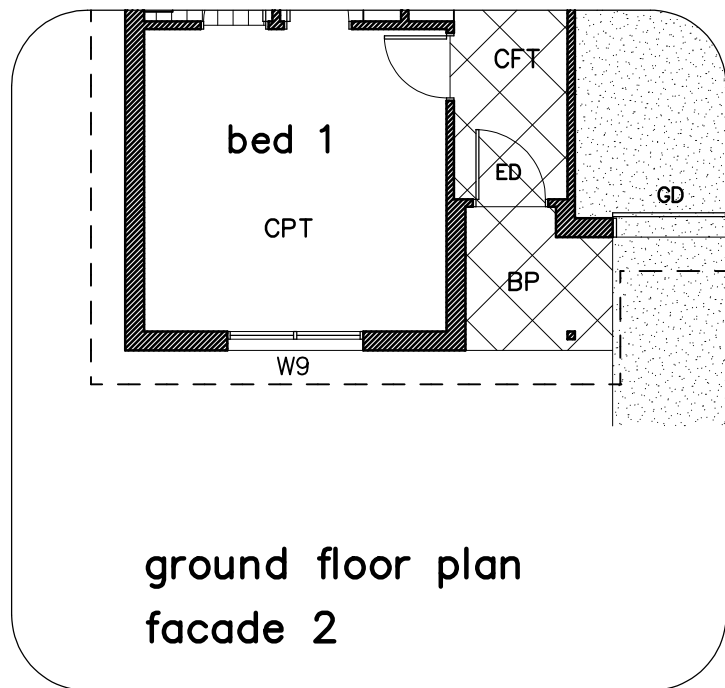
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mail@shaddockarchitects.com

NOMINATED ARCHITECT: PETER SHADDOCK NSW REG. NO. 5286

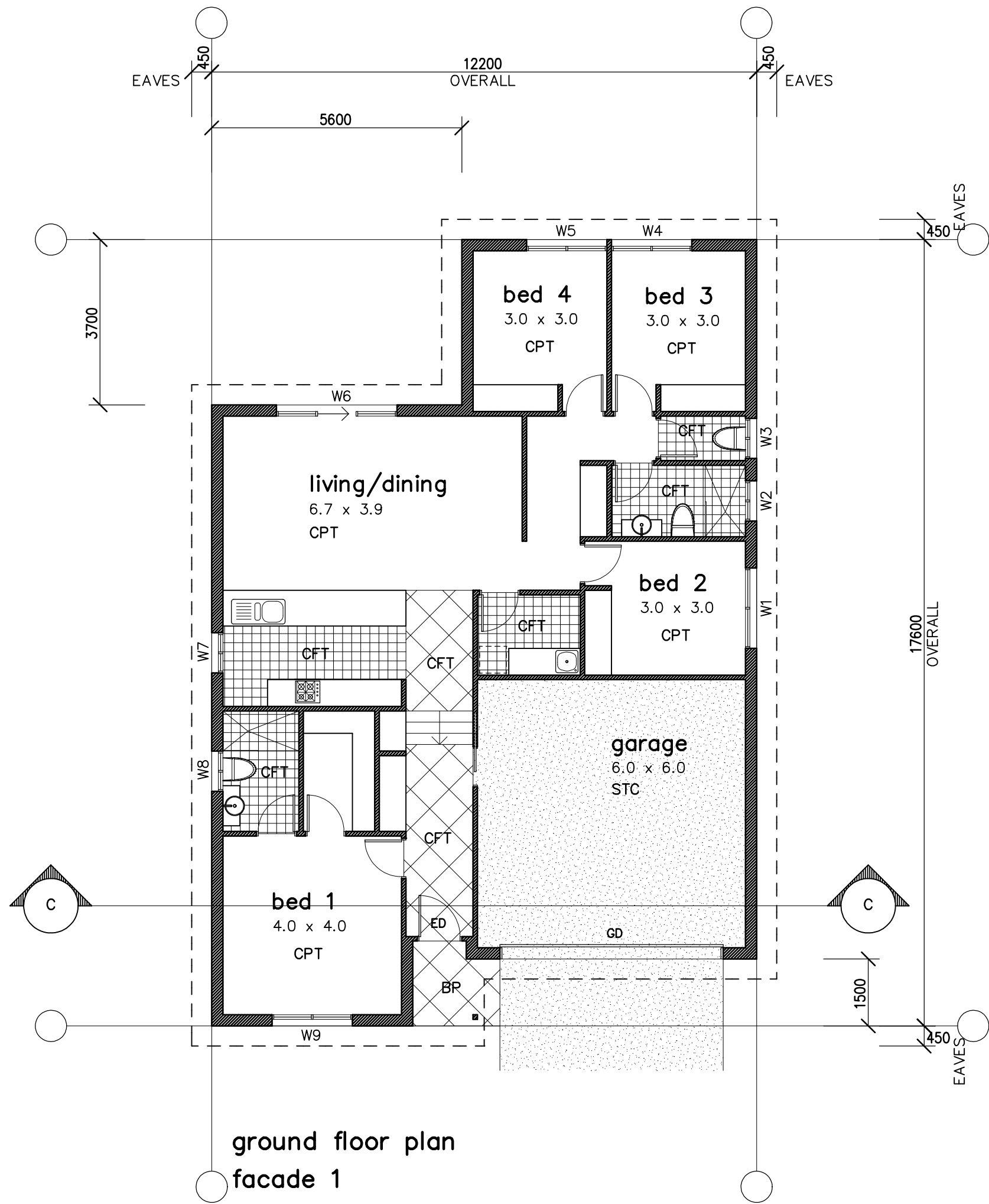
SHADDOCK
ARCHITECTS



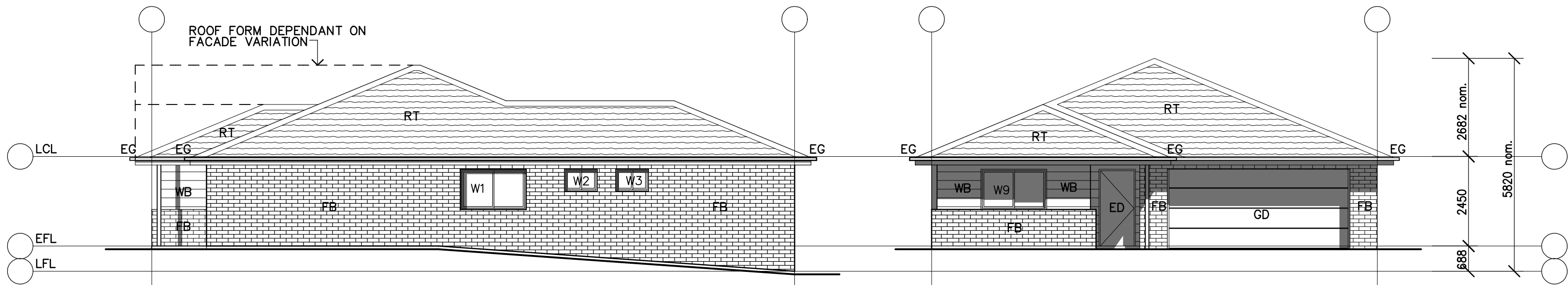
ground floor plan
facade 3



ground floor plan
facade 2

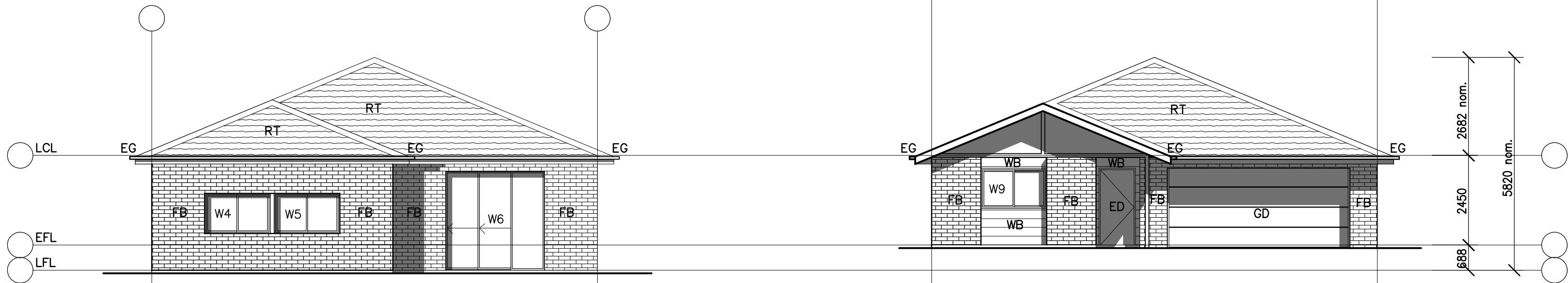


ground floor plan
facade 1



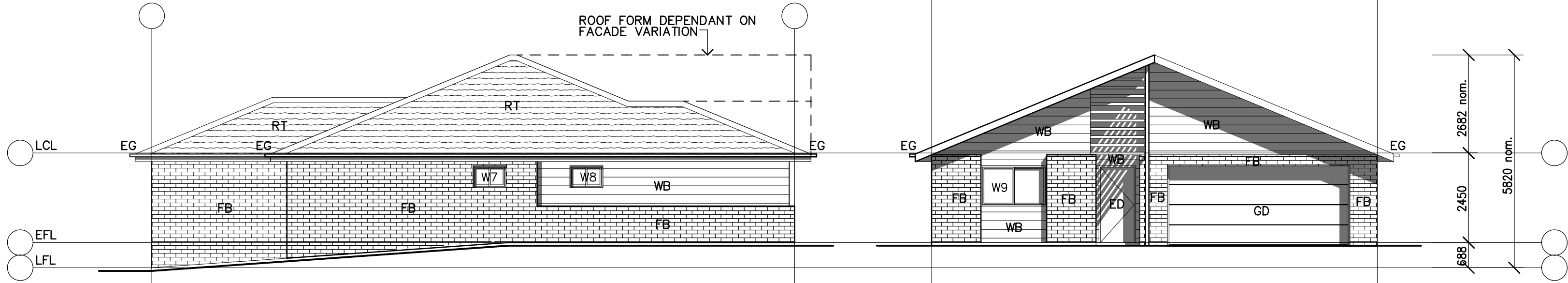
side elevation
typical

front elevation
facade 3



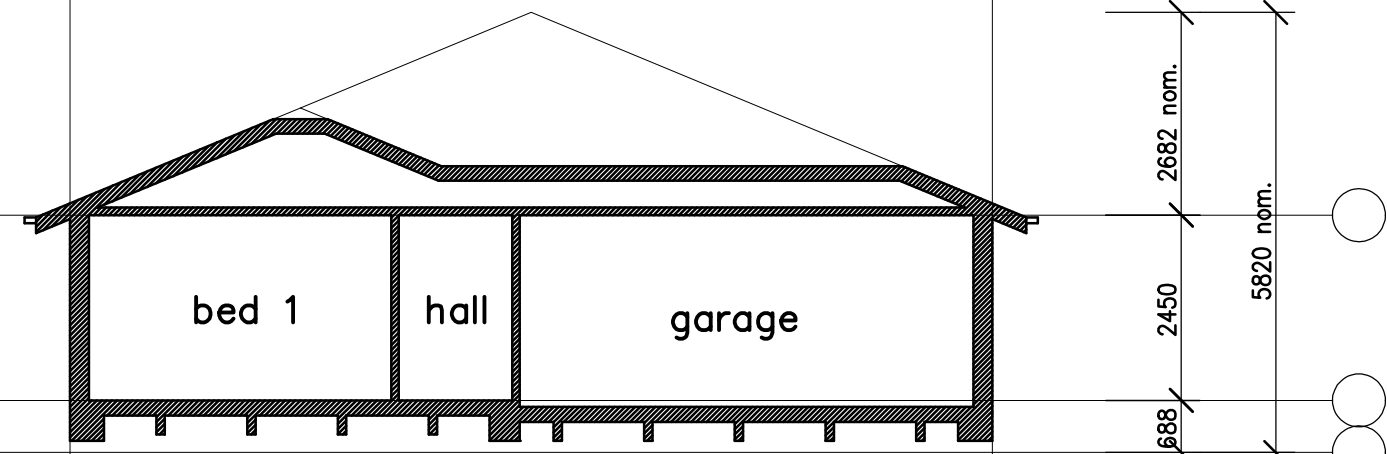
rear elevation
typical

front elevation
facade 2



side elevation
typical

front elevation
facade 1



section C-C
typical

LEGEND:

AW	AWNING
BP	BRICK PAVING
CPT	CARPET
CFT	CERAMIC FLOOR TILES
ED	ENTRY DOOR
EFL	ENTRY FLOOR LEVEL
EG	EAVES GUTTER
FB	FACE BRICK
FCL	FINISHED CEILING LEVEL
GD	GARAGE DOOR
LCL	LIVING CEILING LEVEL
LFL	LIVING FLOOR LEVEL
MR	METAL ROOFING
RT	ROOF TILE
STC	STEEL TROWELLED CONCRETE
TS	TIMBER SCREEN
UCL	UPPER CEILING LEVEL
UFL	UPPER FLOOR LEVEL
W.	WINDOW..
WB	TIMBER WEATHERBOARDS

BASIX:

FOR BASIX REQUIREMENTS REFER TO
BASIX CERTIFICATE AND SPECIFICATION
BLOCKS LISTED ON SHEET A01.

WINDOW SCHEDULE - DT3

WINDOW	SIZE (W x H)	SILL
W1	1800 x 1100	1000
W2	900 x 600	0
W3	900 x 600	0
W4	1800 x 1100	1000
W5	1800 x 1100	1000
W6	2100 x 1800	0
W7	900 x 600	1500
W8	900 x 600	1500
W9	1800 x 1400	1000

All dimensions are in millimeters unless otherwise shown. All levels are in metres to AHD unless otherwise noted. Work to figured dimensions. Do not scale from drawings. Check all dimensions on site and report any discrepancies to Shaddock Architects prior to construction or fabrication of any item. This drawing is to be read in conjunction with the total documentation package.

28	AMENDED FOR DEVELOPMENT APPLICATION	12.09.2019
27	FOR COORDINATION	16.05.2019
26	FOR COORDINATION	9.05.2019
No.	REVISION	DATE

LOCATION
LOT 1, DP 349727,
27-61 NIKKO ROAD, WARNERVALE

CLIENT
KINGSTON PROPERTY FUND No. 2 PTY LTD

PROJECT
HOUSING DEVELOPMENT

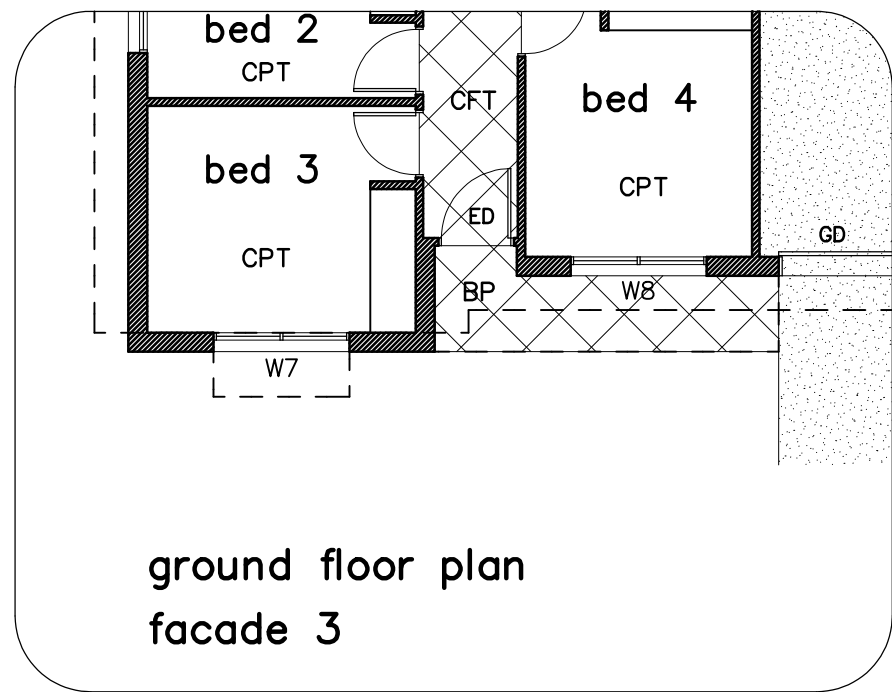
DRAWING TITLE
DT3 - DWELLING TYPE 3
TYPICAL PLANS & ELEVATIONS

SCALE 1:100 at A1	DWG No. A11
No. IN SET 11 of 28	
PROJECT No. 1028	

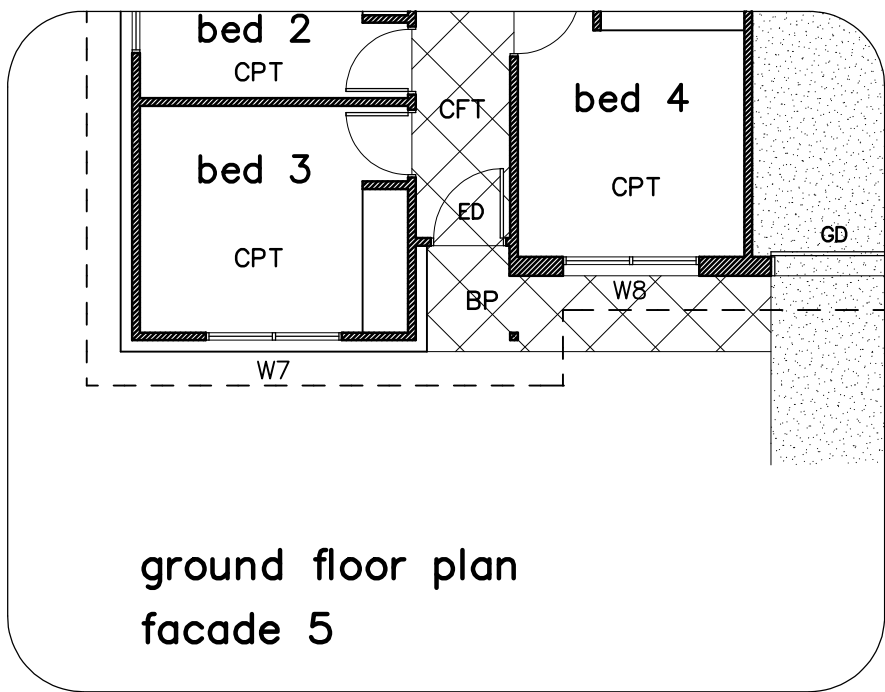
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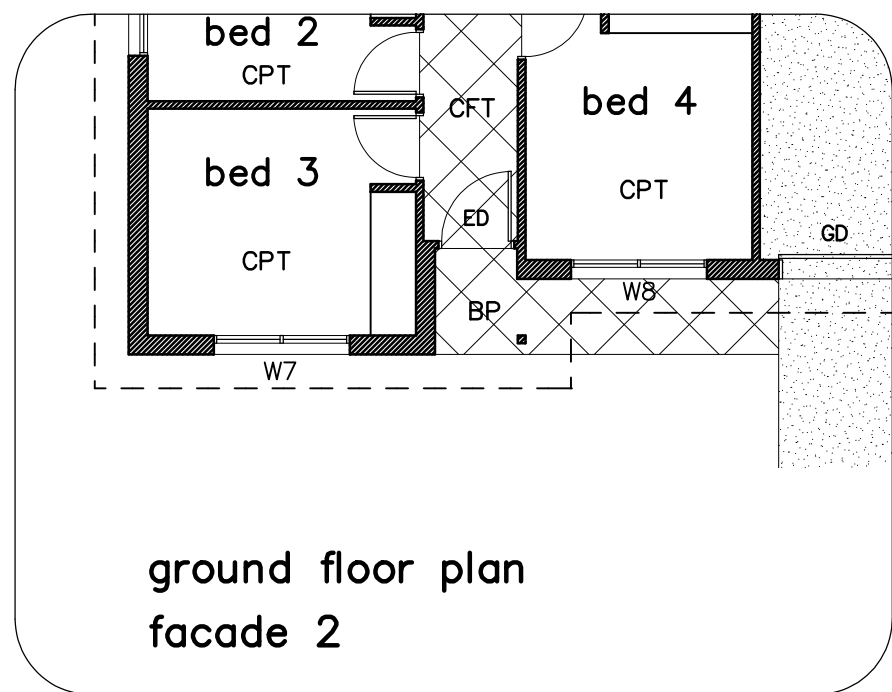
DT3 - ONE STOREY FREE STANDING 4 BEDROOM DWELLING



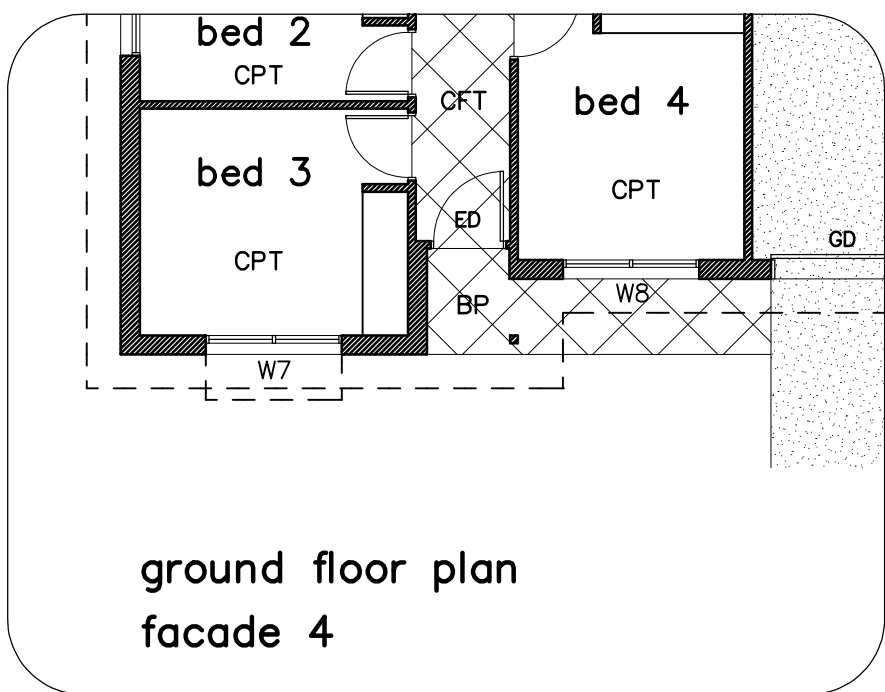
ground floor plan
facade 3



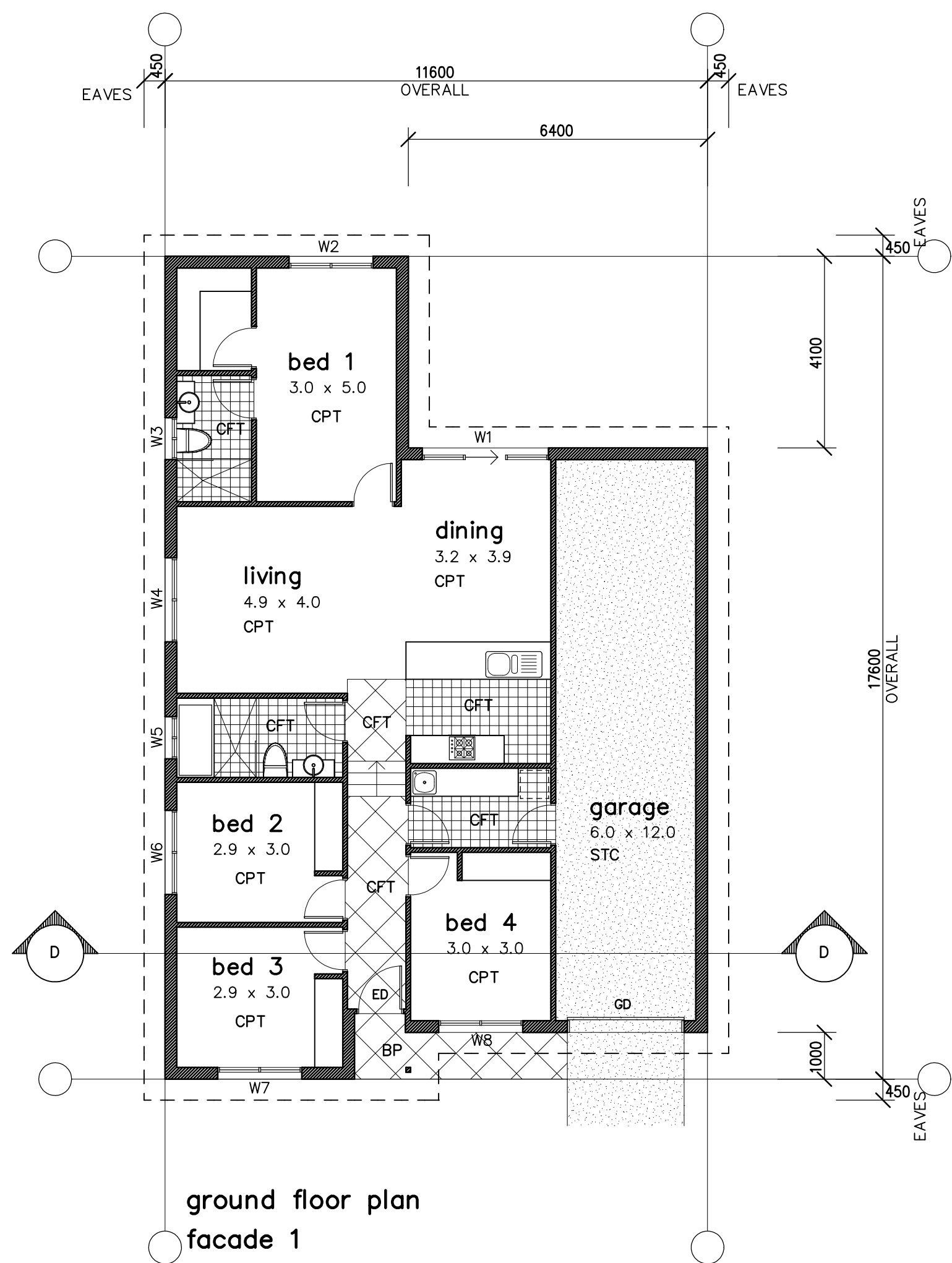
ground floor plan
facade 5



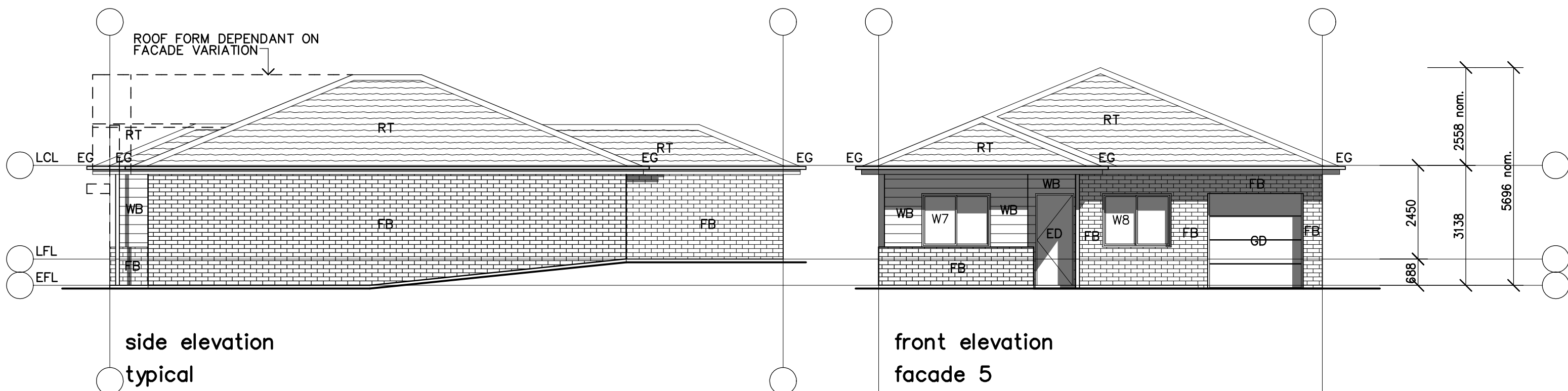
ground floor plan
facade 2



ground floor plan
facade 4

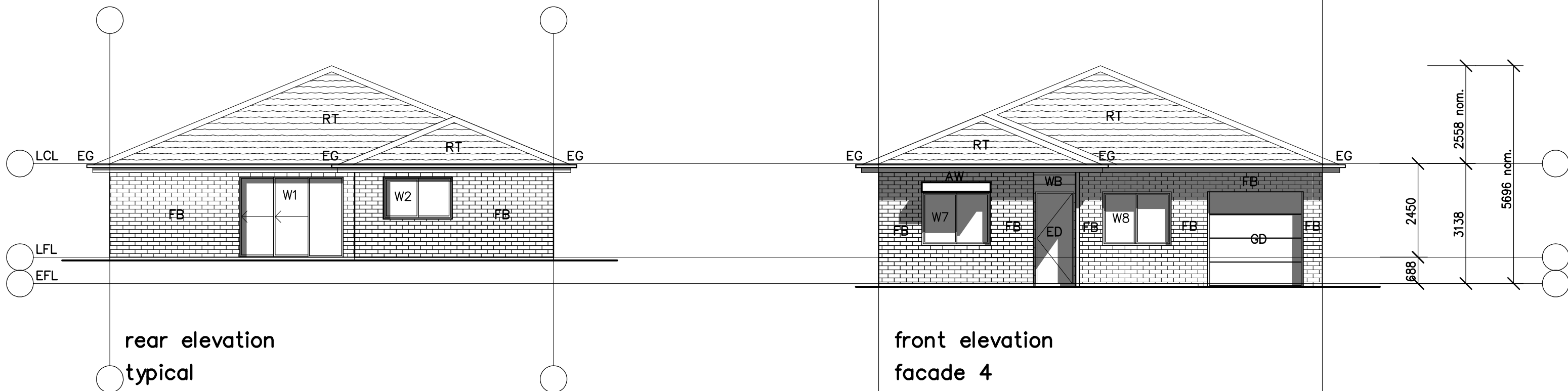


ground floor plan
facade 1



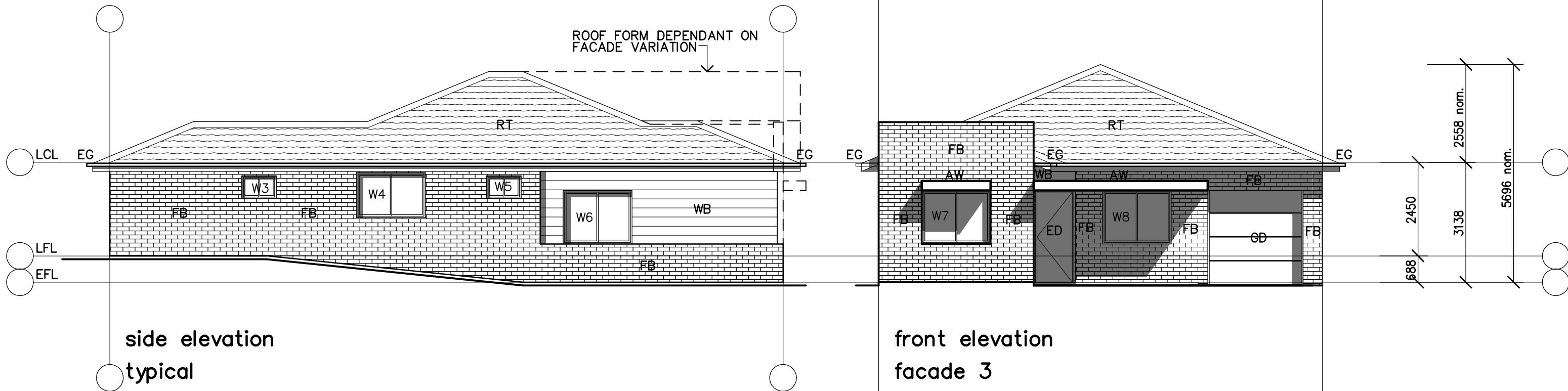
side elevation
typical

front elevation
facade 5



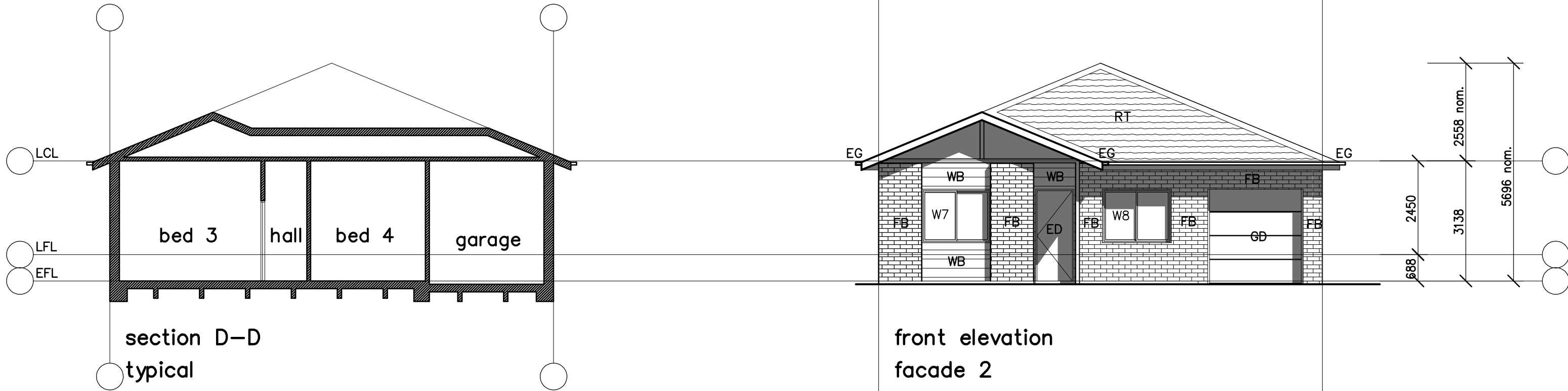
rear elevation
typical

front elevation
facade 4



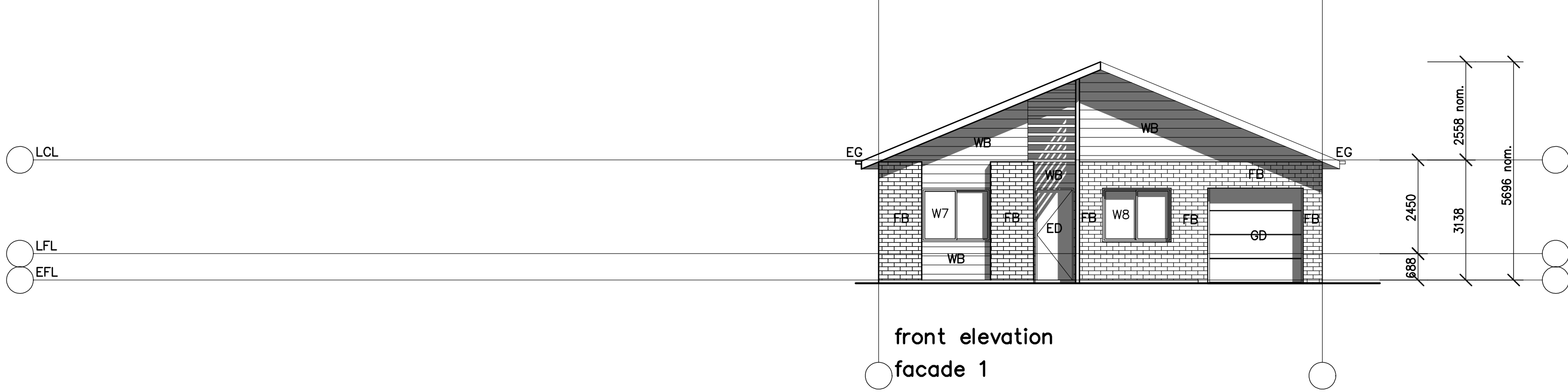
side elevation
typical

front elevation
facade 3



section D-D
typical

front elevation
facade 2



front elevation
facade 1

LEGEND:

AW	AWNING
BP	BRICK PAVING
CPT	CARPET
CFT	CERAMIC FLOOR TILES
ED	ENTRY DOOR
EFL	ENTRY FLOOR LEVEL
EG	EAVES GUTTER
FB	FACE BRICK
FCL	FINISHED CEILING LEVEL
GD	GARAGE DOOR
LCL	LIVING CEILING LEVEL
LFL	LIVING FLOOR LEVEL
MR	METAL ROOFING
RT	ROOF TILE
STC	STEEL TROWELLED CONCRETE
TS	TIMBER SCREEN
UCL	UPPER CEILING LEVEL
UFL	UPPER FLOOR LEVEL
W.	WINDOW..
WB	TIMBER WEATHERBOARDS

BASIX:

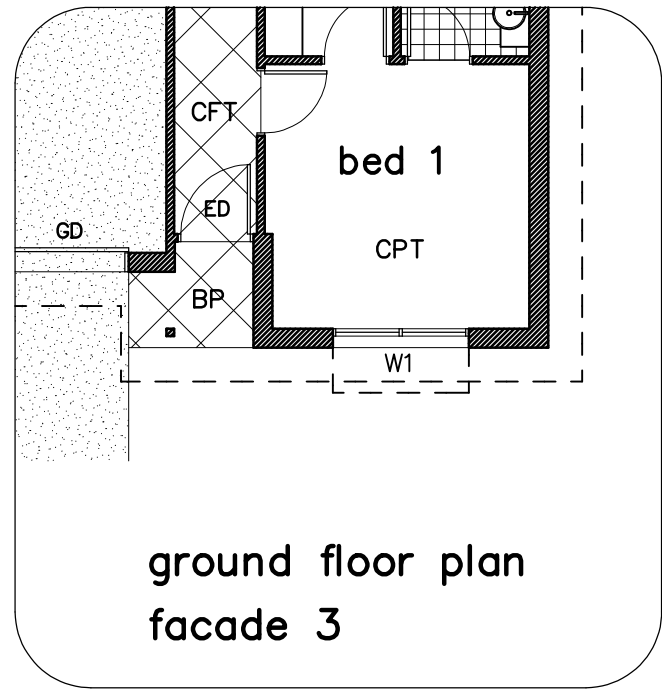
FOR BASIX REQUIREMENTS REFER TO
BASIX CERTIFICATE AND SPECIFICATION
BLOCKS LISTED ON SHEET A01.

WINDOW SCHEDULE - DT4

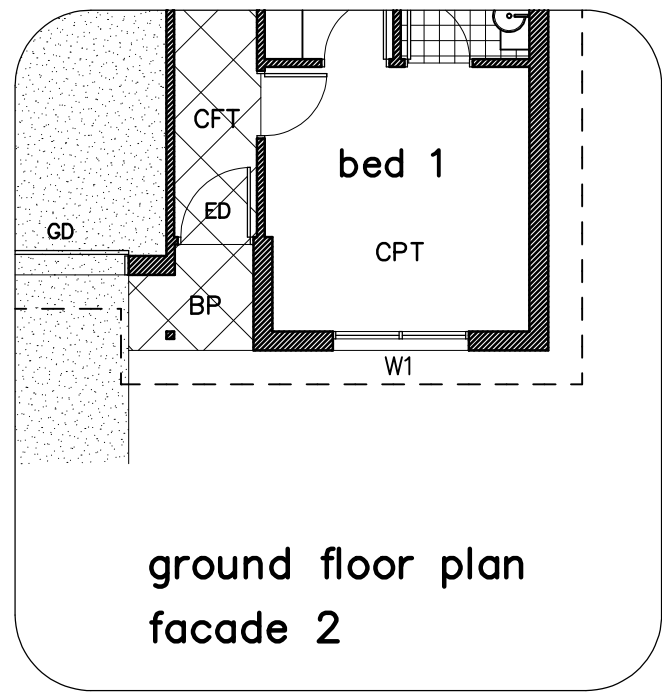
WINDOW	SIZE (W x H)	SILL
W1	2700 x 1800	0
W2	1800 x 1100	1000
W3	900 x 600	1500
W4	1800 x 1100	1000
W5	900 x 600	1500
W6	1800 x 1100	1000
W7	1800 x 1400	1000
W7	1800 x 1400	1000

All dimensions are in millimeters unless otherwise shown. All levels are in metres to AHD unless otherwise noted. Work to figured dimensions. Do not scale from drawings. Check all dimensions on site and report any discrepancies to Shaddock Architects prior to construction or fabrication of any item. This drawing is to be read in conjunction with the total documentation package.		
28	AMENDED FOR DEVELOPMENT APPLICATION	12.09.2019
27	FOR COORDINATION	16.05.2019
26	FOR COORDINATION	9.05.2019
No.	REVISION	DATE
LOCATION LOT 1, DP 349727, 27-61 NIKKO ROAD, WARNERVALE		
CLIENT KINGSTON PROPERTY FUND No. 2 PTY LTD		
PROJECT HOUSING DEVELOPMENT		
DRAWING TITLE DT4 - DWELLING TYPE 4 TYPICAL PLANS & ELEVATIONS		
SCALE 1:100 at A1 No. IN SET 12 of 28 PROJECT No. 1028		DWG No. A12
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SHADDOCK ARCHITECTS		

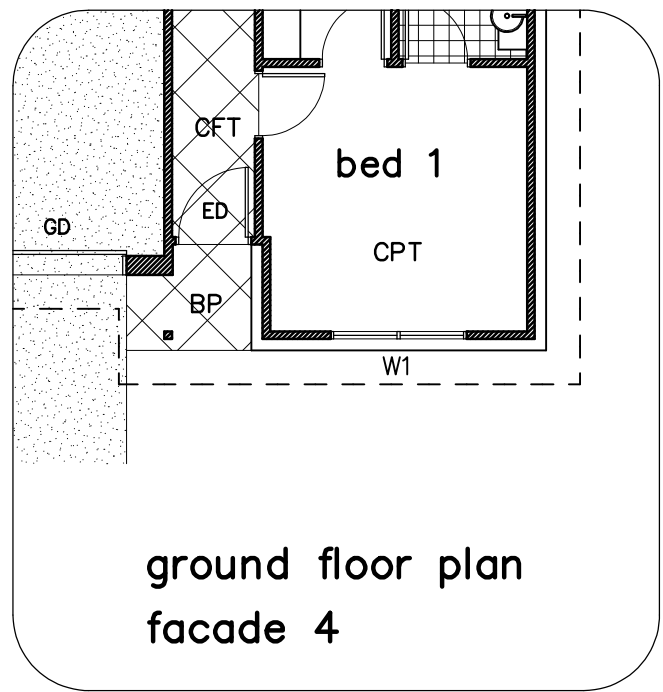
DT4 - ONE STOREY FREE STANDING
4 BEDROOM DWELLING



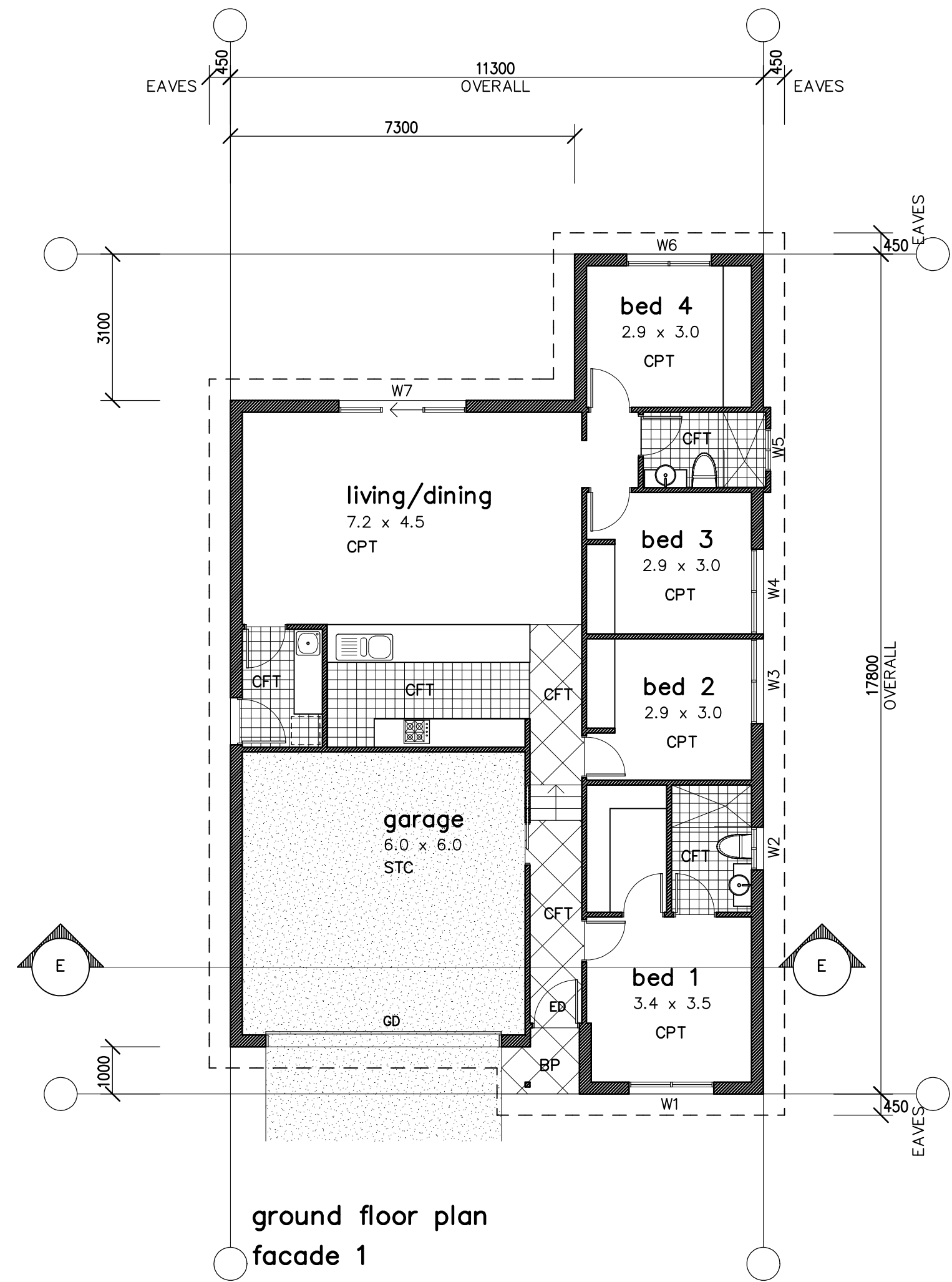
ground floor plan
facade 3



ground floor plan
facade 2

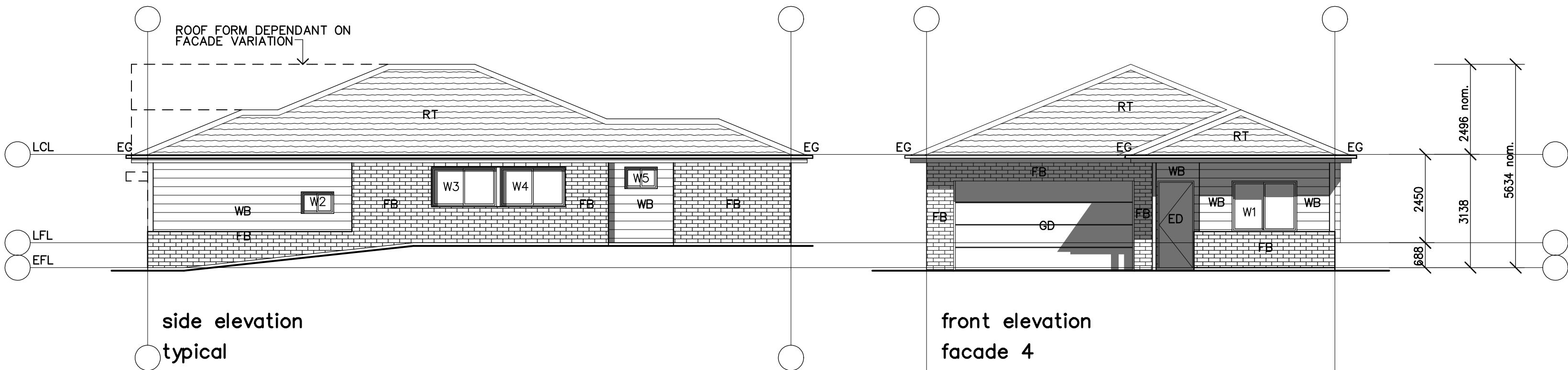


ground floor plan
facade 4



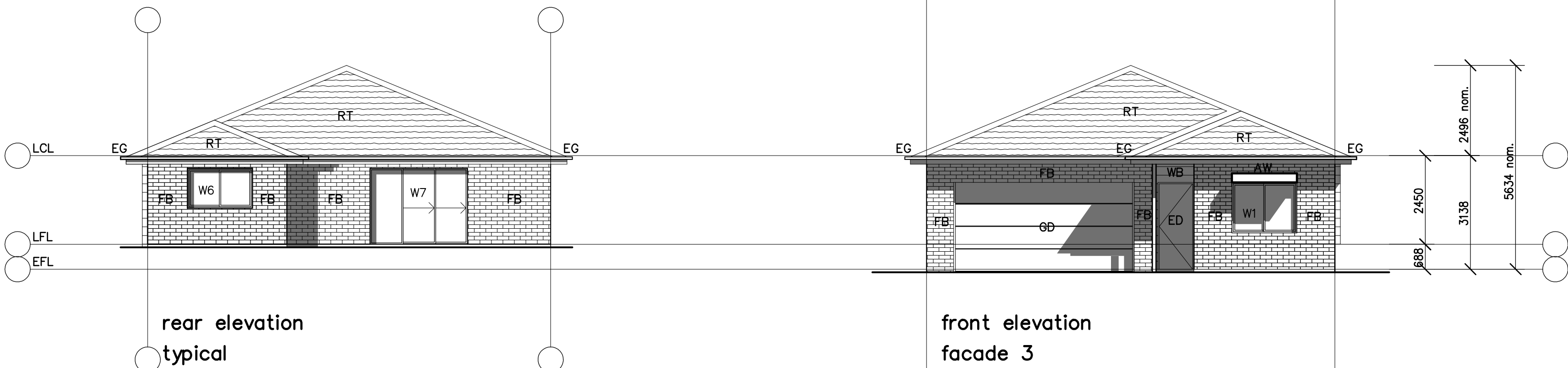
ground floor plan
facade 1

DT5 – ONE STOREY FREE STANDING
4 BEDROOM DWELLING



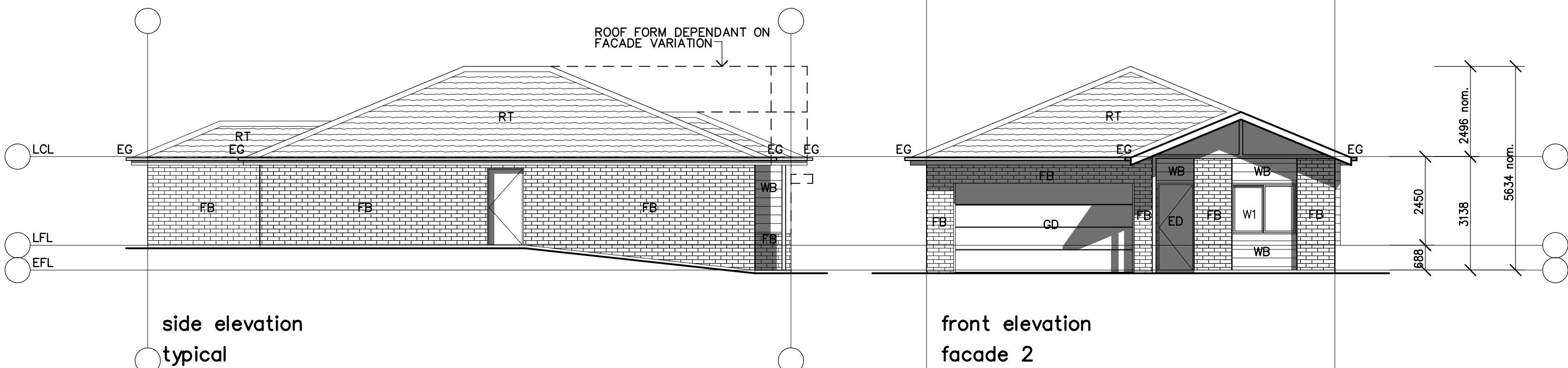
side elevation
typical

front elevation
facade 4



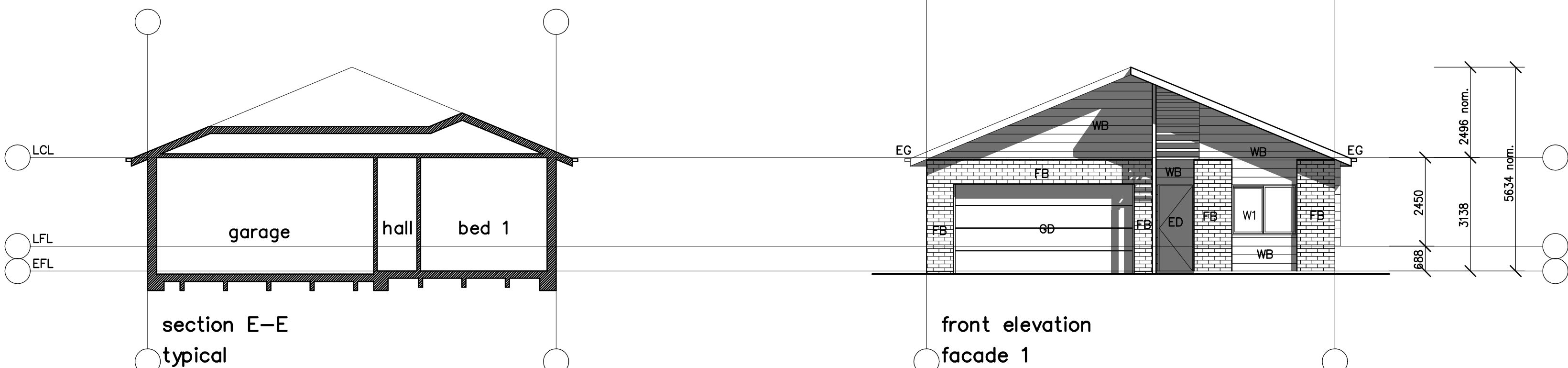
rear elevation
typical

front elevation
facade 3



side elevation
typical

front elevation
facade 2



section E-E
typical

front elevation
facade 1

LEGEND:

AW	AWNING
BP	BRICK PAVING
CPT	CARPET
CFT	CERAMIC FLOOR TILES
ED	ENTRY DOOR
EFL	ENTRY FLOOR LEVEL
EG	EAVES GUTTER
FB	FACE BRICK
FCL	FINISHED CEILING LEVEL
GD	GARAGE DOOR
LCL	LIVING CEILING LEVEL
LFL	LIVING FLOOR LEVEL
MR	METAL ROOFING
RT	ROOF TILE
STC	STEEL TROWELLED CONCRETE
TS	TIMBER SCREEN
UCL	UPPER CEILING LEVEL
UFL	UPPER FLOOR LEVEL
W.	WINDOW..
WB	TIMBER WEATHERBOARDS

BASIX:

FOR BASIX REQUIREMENTS REFER TO
BASIX CERTIFICATE AND SPECIFICATION
BLOCKS LISTED ON SHEET A01.

WINDOW SCHEDULE – DT5

WINDOW	SIZE (W x H)	SILL
W1	1800 x 1400	1000
W2	900 x 600	1500
W3	1800 x 1100	1000
W4	1800 x 1100	1000
W5	900 x 600	1500
W6	1800 x 1100	1000
W7	2700 x 1800	0

All dimensions are in millimeters unless otherwise shown. All levels are in metres to AHD unless otherwise noted. Work to figured dimensions. Do not scale from drawings. Check all dimensions on site and report any discrepancies to Shaddock Architects prior to construction or fabrication of any item. This drawing is to be read in conjunction with the total documentation package.

28	AMENDED FOR DEVELOPMENT APPLICATION	12.09.2019
27	FOR COORDINATION	16.05.2019
26	FOR COORDINATION	9.05.2019
o.	REVISION	DATE

CATION

LOT 1, DP 349727,
27–61 NIKKO ROAD, WARNERVALE

EMENT

KINGSTON PROPERTY FUND No. 2 PTY LTD

JECT

HOUSING DEVELOPMENT

AWING TITLE

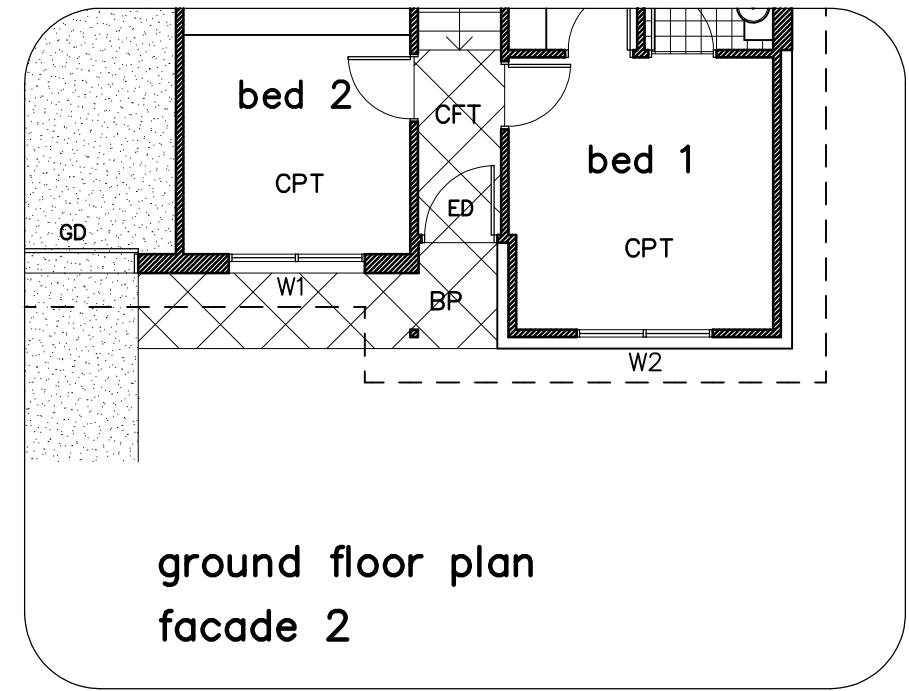
DT5 – DWELLING TYPE 5
TYPICAL PLANS & ELEVATIONS

SCALE 1:100 at A1 No. IN SET 13 of 28 PROJECT No. 1028	DWG No.
	A13

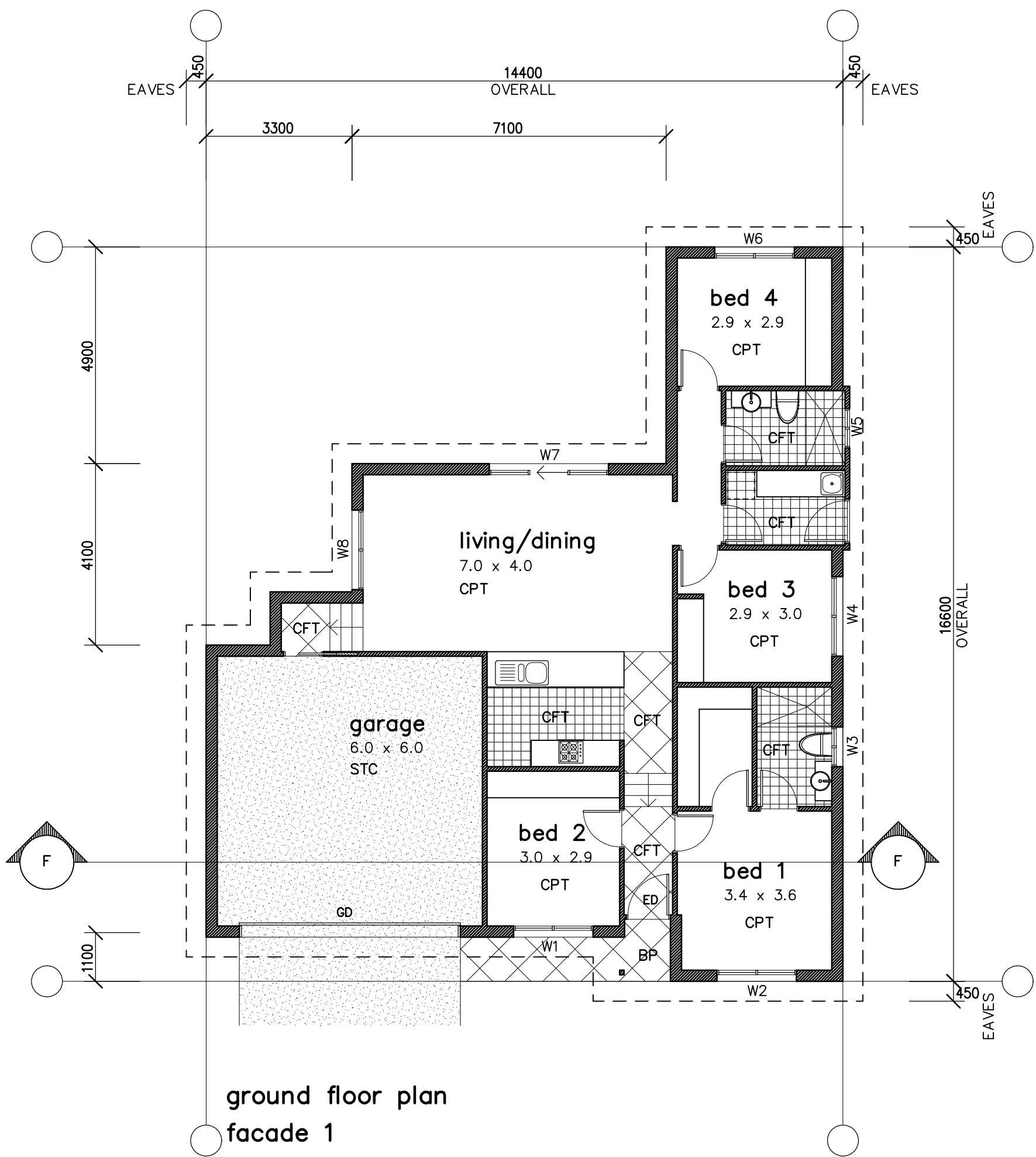
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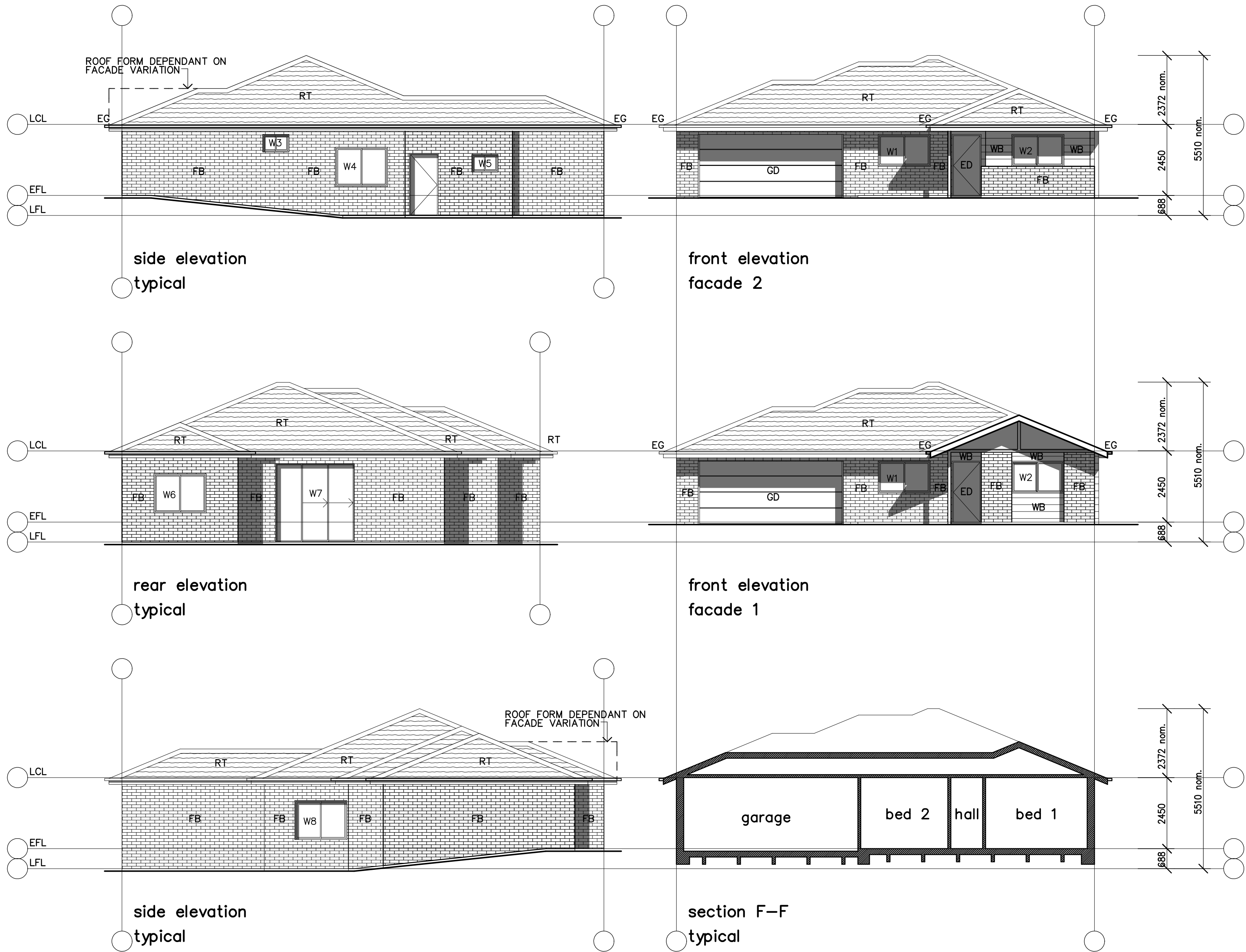
SHADDOCK
ARCHITECTS



ground floor plan
facade 2



ground floor plan
facade 1



LEGEND:

AW	AWNING
BP	BRICK PAVING
CPT	CARPET
CFT	CERAMIC FLOOR TILES
ED	ENTRY DOOR
EFL	ENTRY FLOOR LEVEL
EG	EAVES GUTTER
FB	FACE BRICK
FCL	FINISHED CEILING LEVEL
GD	GARAGE DOOR
LCL	LIVING CEILING LEVEL
LFL	LIVING FLOOR LEVEL
MR	METAL ROOFING
RT	ROOF TILE
STC	STEEL TROWELLED CONCRETE
TS	TIMBER SCREEN
UCL	UPPER CEILING LEVEL
UFL	UPPER FLOOR LEVEL
W.	WINDOW...
WB	TIMBER WEATHERBOARDS

BASIX:

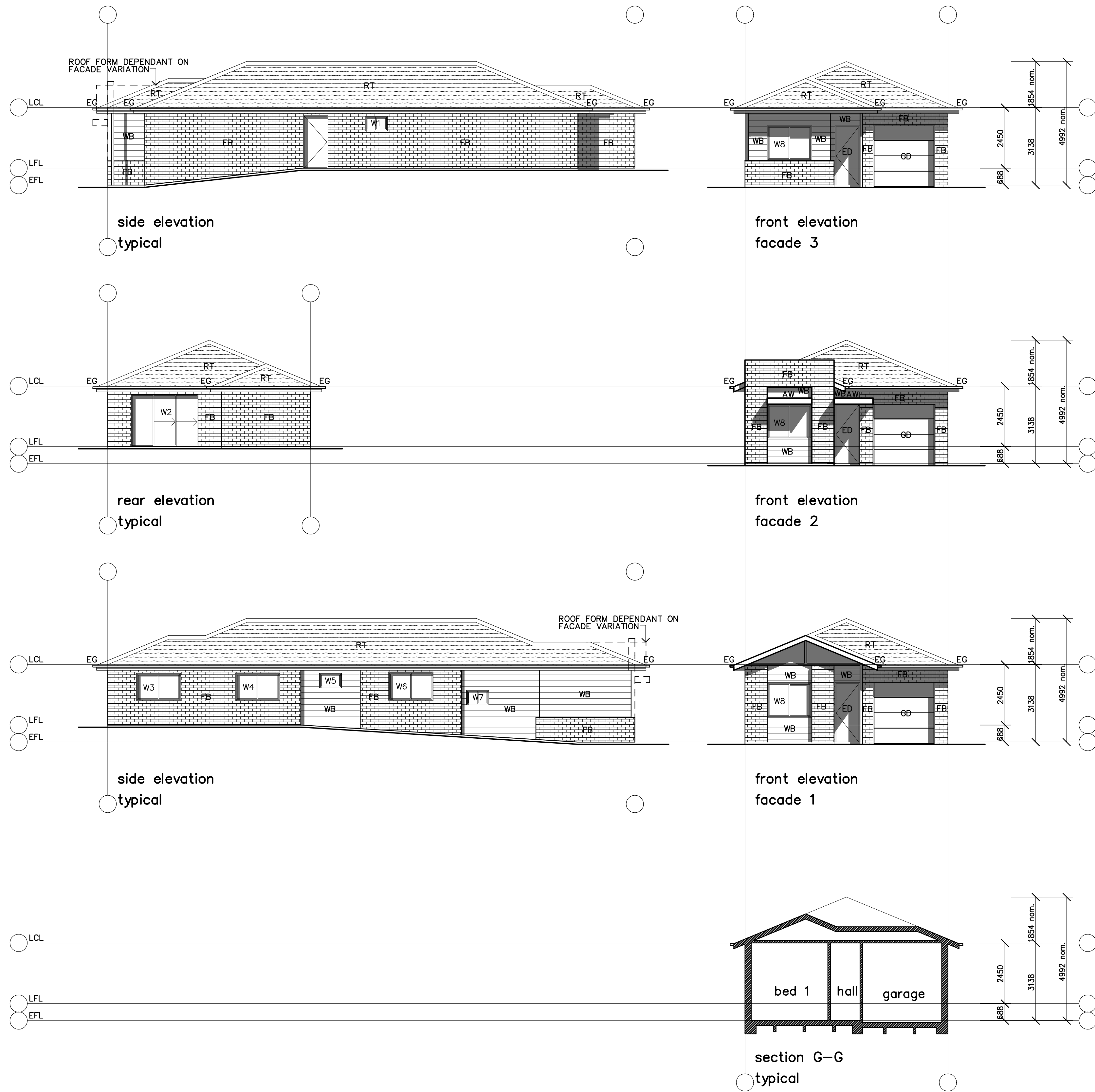
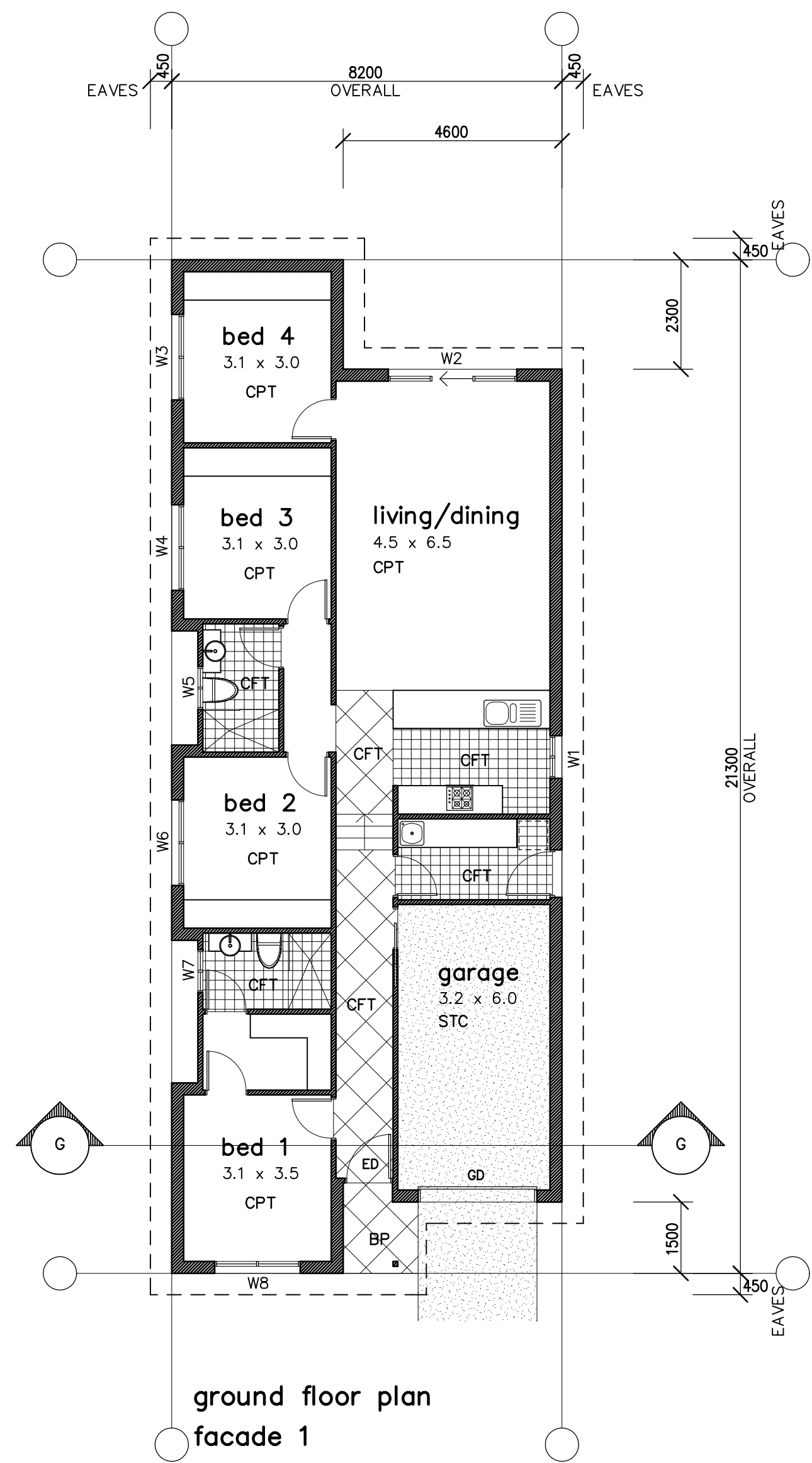
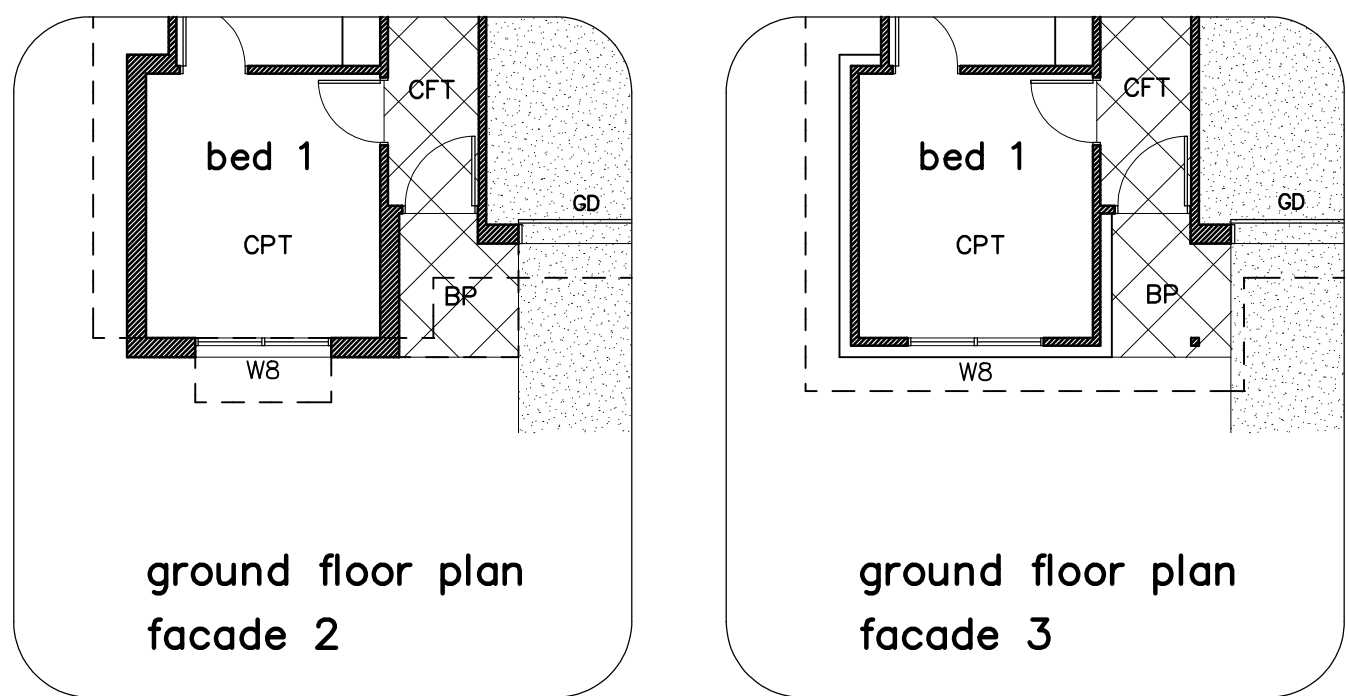
FOR BASIX REQUIREMENTS REFER TO
BASIX CERTIFICATE AND SPECIFICATION
BLOCKS LISTED ON SHEET A01.

WINDOW SCHEDULE - DT6

WINDOW	SIZE (W x H)	SILL
W1	1800 x 1100	1000
W2	1800 x 1100	1000
W3	900 x 600	1500
W4	1800 x 1100	1000
W5	900 x 600	1500
W6	1800 x 1100	1000
W7	2700 x 1800	0
W8	1800 x 1000	1000

All dimensions are in millimeters unless otherwise shown. All levels are in metres to AHD unless otherwise noted. Work to figured dimensions. Do not scale from drawings. Check all dimensions on site and report any discrepancies to Shaddock Architects prior to construction or fabrication of any item. This drawing is to be read in conjunction with the total documentation package.		
28	AMENDED FOR DEVELOPMENT APPLICATION	12.09.2019
27	FOR COORDINATION	16.05.2019
26	FOR COORDINATION	9.05.2019
No.	REVISION	DATE
LOCATION LOT 1, DP 349727, 27-61 NIKKO ROAD, WARNERVALE		
CLIENT KINGSTON PROPERTY FUND No. 2 PTY LTD		
PROJECT HOUSING DEVELOPMENT		
DRAWING TITLE DT6 - DWELLING TYPE 6 TYPICAL PLANS & ELEVATIONS		
SCALE 1:100 at A1 No. IN SET 14 of 28 PROJECT No. 1028	DWG No. A14	
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SHADDOCK ARCHITECTS		

DT6 - ONE STOREY FREE STANDING
4 BEDROOM DWELLING



LEGEND:

AW	AWNING
BP	BRICK PAVING
CPT	CARPET
CFT	CERAMIC FLOOR TILES
ED	ENTRY DOOR
EFL	ENTRY FLOOR LEVEL
EG	EAVES GUTTER
FB	FACE BRICK
FCL	FINISHED CEILING LEVEL
GD	GARAGE DOOR
LCL	LIVING CEILING LEVEL
LFL	LIVING FLOOR LEVEL
MR	METAL ROOFING
RT	ROOF TILE
STC	STEEL TROWELLED CONCRETE
TS	TIMBER SCREEN
UCL	UPPER CEILING LEVEL
UFL	UPPER FLOOR LEVEL
W.	WINDOW..
WB	TIMBER WEATHERBOARDS

BASIX:

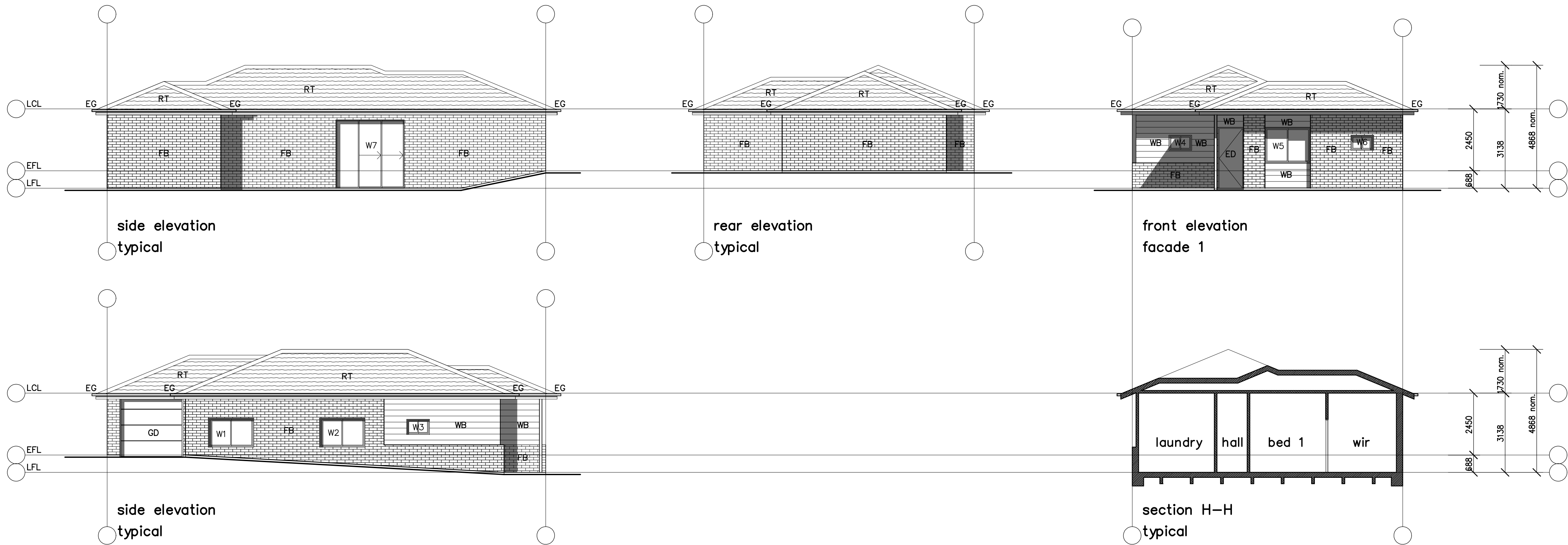
FOR BASIX REQUIREMENTS REFER TO BASIX CERTIFICATE AND SPECIFICATION BLOCKS LISTED ON SHEET A01.

WINDOW SCHEDULE - DT7

WINDOW	SIZE (W x H)	SILL
W1	900 x 600	1500
W2	2700 x 1800	0
W3	1800 x 1100	1000
W4	1800 x 1100	1000
W5	900 x 600	1500
W6	1800 x 1100	1000
W7	900 x 600	1500
W8	1800 x 1400	1000

All dimensions are in millimeters unless otherwise shown. All levels are in metres to AHD unless otherwise noted. Work to figured dimensions. Do not scale from drawings. Check all dimensions on site and report any discrepancies to Shaddock Architects prior to construction or fabrication of any item. This drawing is to be read in conjunction with the total documentation package.		
8.	AMENDED FOR DEVELOPMENT APPLICATION	12.09.2019
7.	FOR COORDINATION	16.05.2019
6.	FOR COORDINATION	9.05.2019
D.	REVISION	DATE
LOCATION LOT 1, DP 349727, 27-61 NIKKO ROAD, WARNERVALE		
CLIENT KINGSTON PROPERTY FUND No. 2 PTY LTD		
PROJECT HOUSING DEVELOPMENT		
DRAWING TITLE DT7 - DWELLING TYPE 7 TYPICAL PLANS & ELEVATIONS		
SCALE 1:100 at A1 No. IN SET 15 of 28 PROJECT No. 1028	DWG No. A15	
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	NOMINATED ARCHITECT: PETER SHADDOCK NSW REG. NO. 5288	
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DT7 - ONE STOREY FREE STANDING
4 BEDROOM DWELLING



LEGEND:

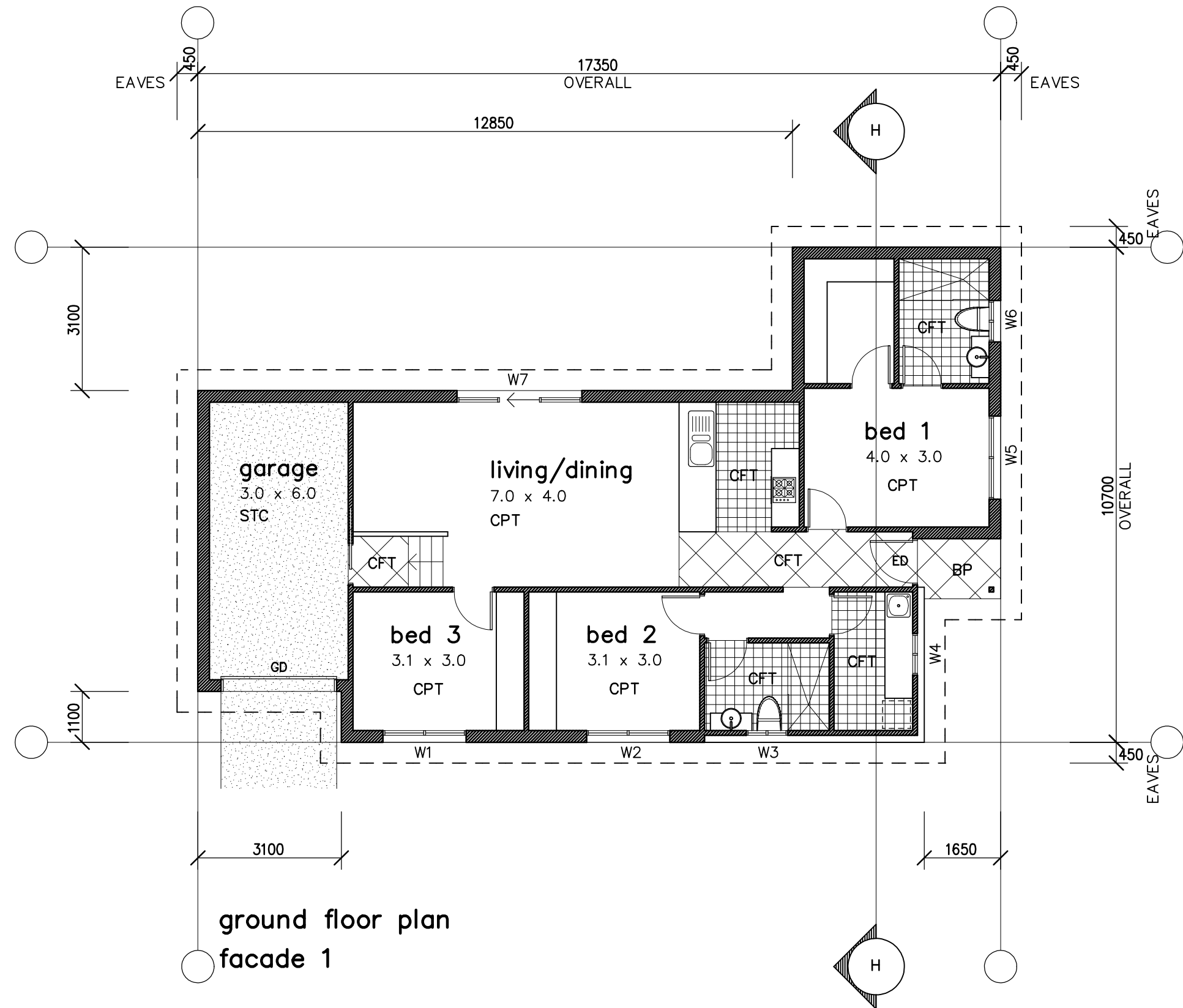
AW	AWNING
BP	BRICK PAVING
CPT	CARPET
CFT	CERAMIC FLOOR TILES
ED	ENTRY DOOR
EFL	ENTRY FLOOR LEVEL
EG	EAVES GUTTER
FB	FACE BRICK
FCL	FINISHED CEILING LEVEL
GD	GARAGE DOOR
LCL	LIVING CEILING LEVEL
LFL	LIVING FLOOR LEVEL
MR	METAL ROOFING
RT	ROOF TILE
STC	STEEL TROWELLED CONCRETE
TS	TIMBER SCREEN
UCL	UPPER CEILING LEVEL
UFL	UPPER FLOOR LEVEL
W.	WINDOW..
WB	TIMBER WEATHERBOARDS

BASIX:

FOR BASIX REQUIREMENTS REFER TO BASIX CERTIFICATE AND SPECIFICATION BLOCKS LISTED ON SHEET A01.

WINDOW SCHEDULE - DT8

WINDOW	SIZE (W x H)	SILL
W1	1800 x 1100	1000
W2	1800 x 1100	1000
W3	900 x 600	1500
W4	900 x 600	1500
W5	1800 x 1400	1000
W6	900 x 600	1500
W7	2700 x 1800	0



DT8 – ONE STOREY FREE STANDING
3 BEDROOM DWELLING

All dimensions are in millimeters unless otherwise shown. All levels are in metres to AHD unless otherwise noted. Work to figured dimensions. Do not scale from drawings. Check all dimensions on site and report any discrepancies to Shaddock Architects prior to construction or fabrication of any item. This drawing is to be read in conjunction with the total documentation package.

28	AMENDED FOR DEVELOPMENT APPLICATION	12.09.2019
27	FOR COORDINATION	16.05.2019
26	FOR COORDINATION	9.05.2019
No.	REVISION	DATE

LOCATION

LOT 1, DP 349727,
27–61 NIKKO ROAD, WARNERVALE

CLIENT

KINGSTON PROPERTY FUND No. 2 PTY LTD

PROJECT

HOUSING DEVELOPMENT

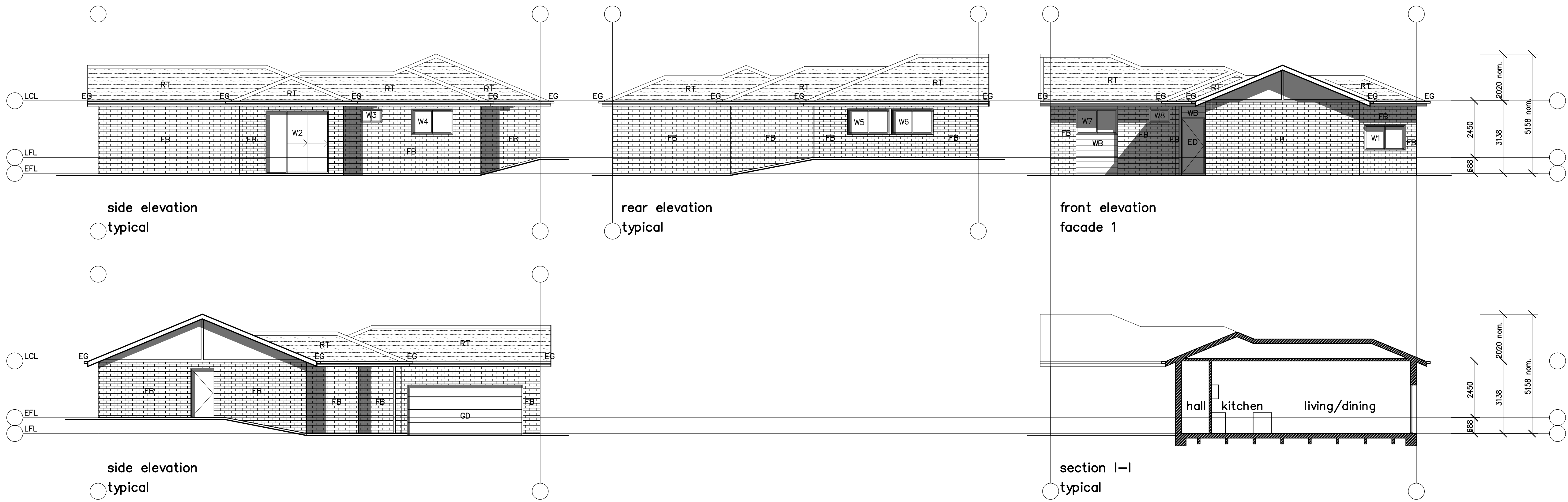
DRAWING TITLE

DT8 – DWELLING TYPE 8
TYPICAL PLANS & ELEVATIONS

SCALE	DWG No.
1:100 at A1	A16
No. IN SET	
16 of 28	
PROJECT No.	
1028	

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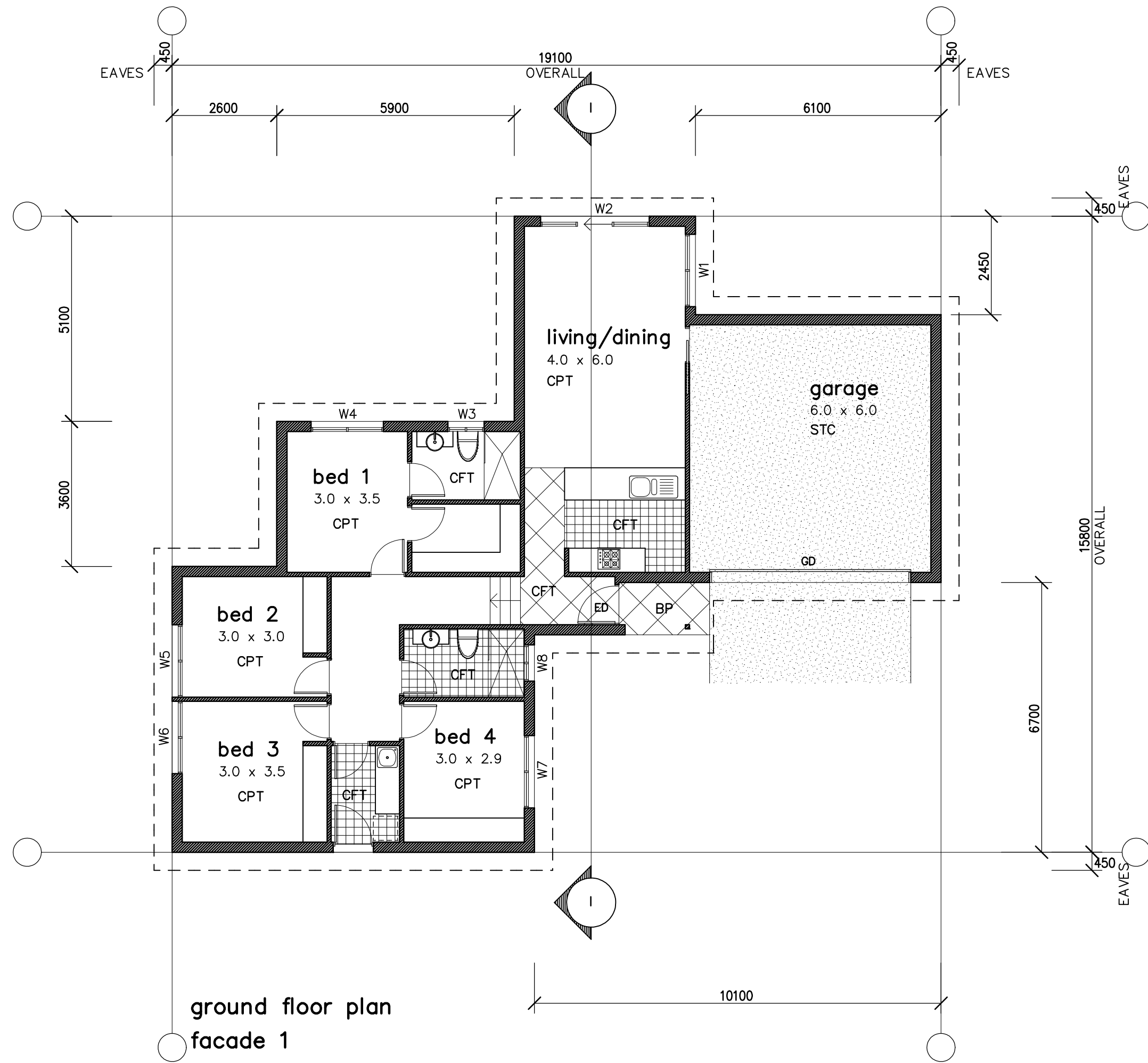
- LEGEND:**
- AW AWNING
 - BP BRICK PAVING
 - CPT CARPET
 - CFT CERAMIC FLOOR TILES
 - ED ENTRY DOOR
 - EFL ENTRY FLOOR LEVEL
 - EG EAVES GUTTER
 - FB FACE BRICK
 - FCL FINISHED CEILING LEVEL
 - GD GARAGE DOOR
 - LCL LIVING CEILING LEVEL
 - LFL LIVING FLOOR LEVEL
 - MR METAL ROOFING
 - RT ROOF TILE
 - STC STEEL TROWELLED CONCRETE
 - TS TIMBER SCREEN
 - UCL UPPER CEILING LEVEL
 - UFL UPPER FLOOR LEVEL
 - W. WINDOW..
 - WB TIMBER WEATHERBOARDS

BASIX:

FOR BASIX REQUIREMENTS REFER TO BASIX CERTIFICATE AND SPECIFICATION BLOCKS LISTED ON SHEET A01.

WINDOW SCHEDULE - DT9

WINDOW	SIZE (W x H)	SILL
W1	1800 x 1100	1000
W2	2700 x 1800	0
W3	900 x 600	1500
W4	1800 x 1100	1000
W5	1800 x 1100	1000
W6	1800 x 1100	1000
W7	1800 x 1100	1000
W8	900 x 600	1500



**DT9 – ONE STOREY FREE STANDING
4 BEDROOM DWELLING**

All dimensions are in millimeters unless otherwise shown. All levels are in metres to AHD unless otherwise noted. Work to figured dimensions. Do not scale from drawings. Check all dimensions on site and report any discrepancies to Shaddock Architects prior to construction or fabrication of any item. This drawing is to be read in conjunction with the total documentation package.

28	AMENDED FOR DEVELOPMENT APPLICATION	12.09.2019
27	FOR COORDINATION	16.05.2019
26	FOR COORDINATION	9.05.2019
No.	REVISION	DATE

LOCATION

**LOT 1, DP 349727,
27–61 NIKKO ROAD, WARNERVALE**

CLIENT

KINGSTON PROPERTY FUND No. 2 PTY LTD

PROJECT

HOUSING DEVELOPMENT

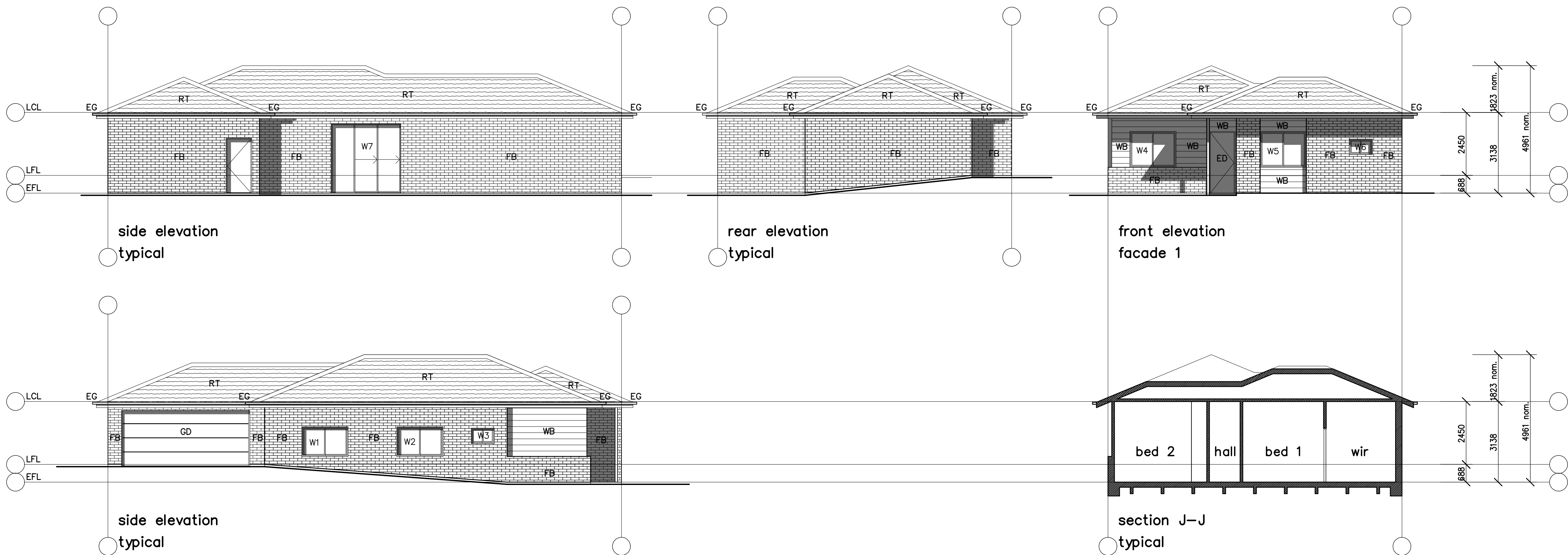
DRAWING TITLE

**DT9 – DWELLING TYPE 9
TYPICAL PLANS & ELEVATIONS**

SCALE	DWG No.
1:100 at A1	A17
No. IN SET	
17 of 28	
PROJECT No.	
1028	

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LEGEND:

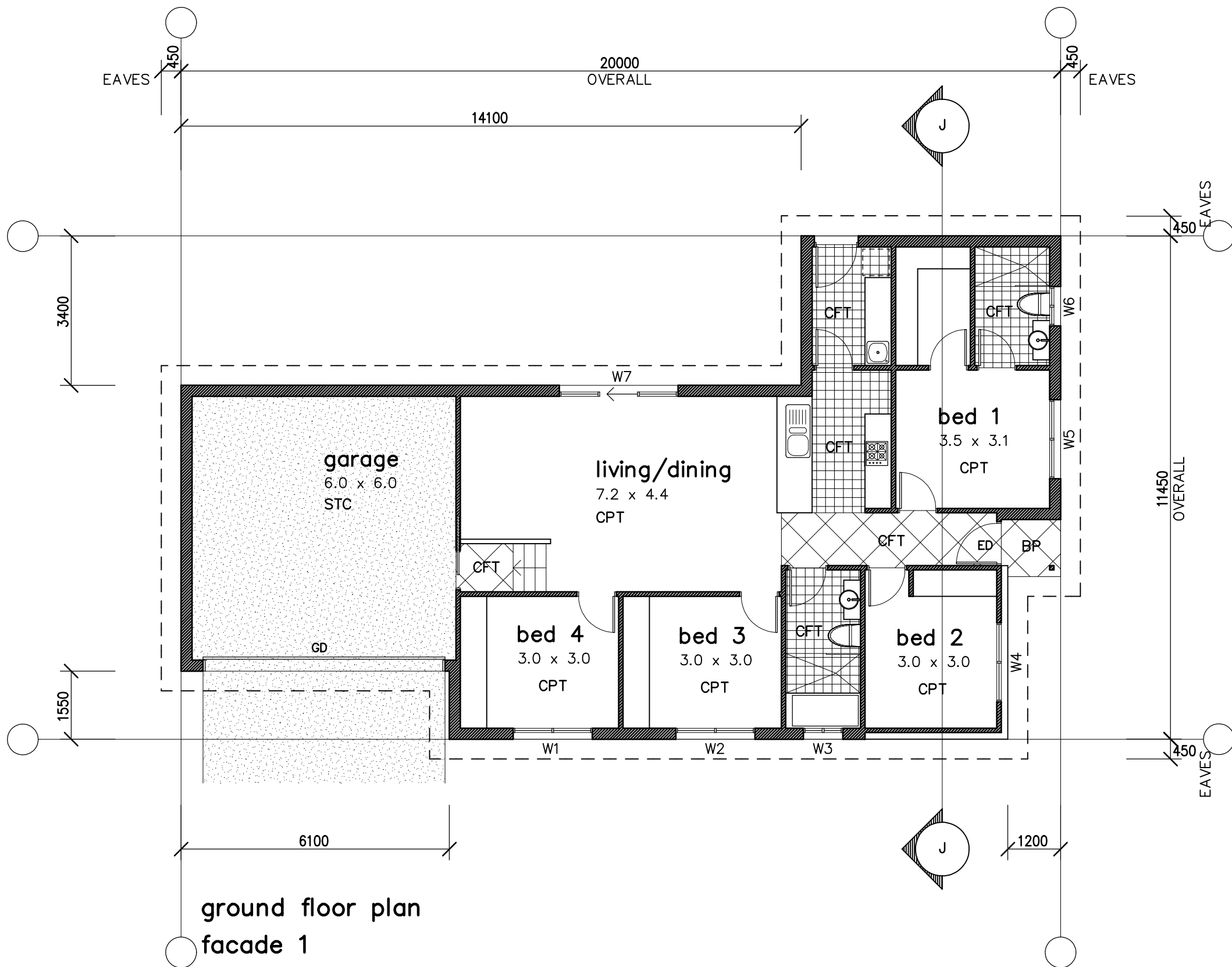
AW	AWNING
BP	BRICK PAVING
CPT	CARPET
CFT	CERAMIC FLOOR TILES
ED	ENTRY DOOR
EFL	ENTRY FLOOR LEVEL
EG	EAVES GUTTER
FB	FACE BRICK
FCL	FINISHED CEILING LEVEL
GD	GARAGE DOOR
LCL	LIVING CEILING LEVEL
LFL	LIVING FLOOR LEVEL
MR	METAL ROOFING
RT	ROOF TILE
STC	STEEL TROWELLED CONCRETE
TS	TIMBER SCREEN
UCL	UPPER CEILING LEVEL
UFL	UPPER FLOOR LEVEL
W..	WINDOW..
WB	TIMBER WEATHERBOARDS

BASIX:

FOR BASIX REQUIREMENTS REFER TO BASIX CERTIFICATE AND SPECIFICATION BLOCKS LISTED ON SHEET A01.

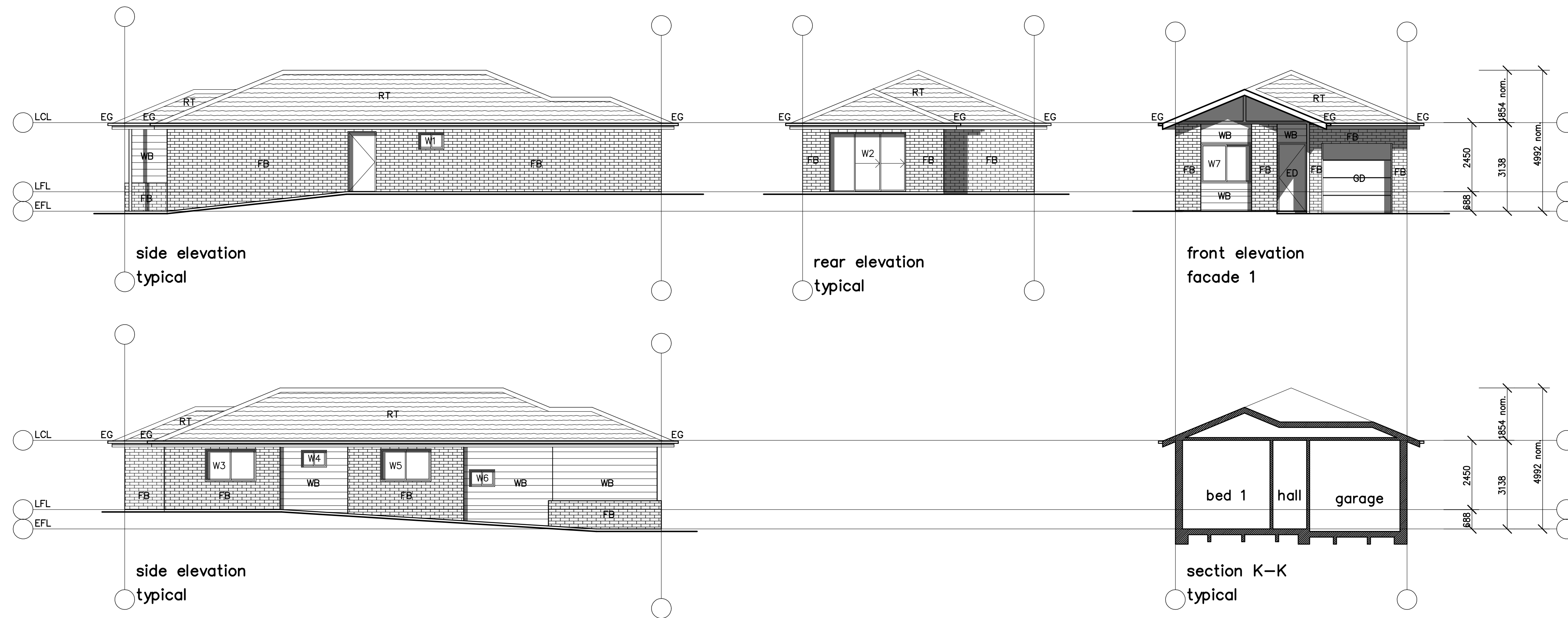
WINDOW SCHEDULE - DT10

WINDOW	SIZE (W x H)	SILL
W1	1800 x 1400	1000
W2	1800 x 1400	1000
W3	900 x 600	1500
W4	1800 x 1100	1000
W5	1800 x 1100	1000
W6	900 x 600	1500
W7	2700 x 1800	0



DT10 – ONE STOREY FREE STANDING
4 BEDROOM DWELLING

All dimensions are in millimeters unless otherwise shown. All levels are in metres to AHD unless otherwise noted. Work to figured dimensions. Do not scale from drawings. Check all dimensions on site and report any discrepancies to Shaddock Architects prior to construction or fabrication of any item. This drawing is to be read in conjunction with the total documentation package.		
28	AMENDED FOR DEVELOPMENT APPLICATION	12.09.2019
27	FOR COORDINATION	16.05.2019
26	FOR COORDINATION	9.05.2019
No.	REVISION	DATE
LOCATION LOT 1, DP 349727, 27–61 NIKKO ROAD, WARNERVALE		
CLIENT KINGSTON PROPERTY FUND No. 2 PTY LTD		
PROJECT HOUSING DEVELOPMENT		
DRAWING TITLE DT10 – DWELLING TYPE 10 TYPICAL PLANS & ELEVATIONS		
	SCALE 1:100 at A1 No. IN SET 18 of 28	DWG No. A18
	PROJECT No. 1028	
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LEGEND:

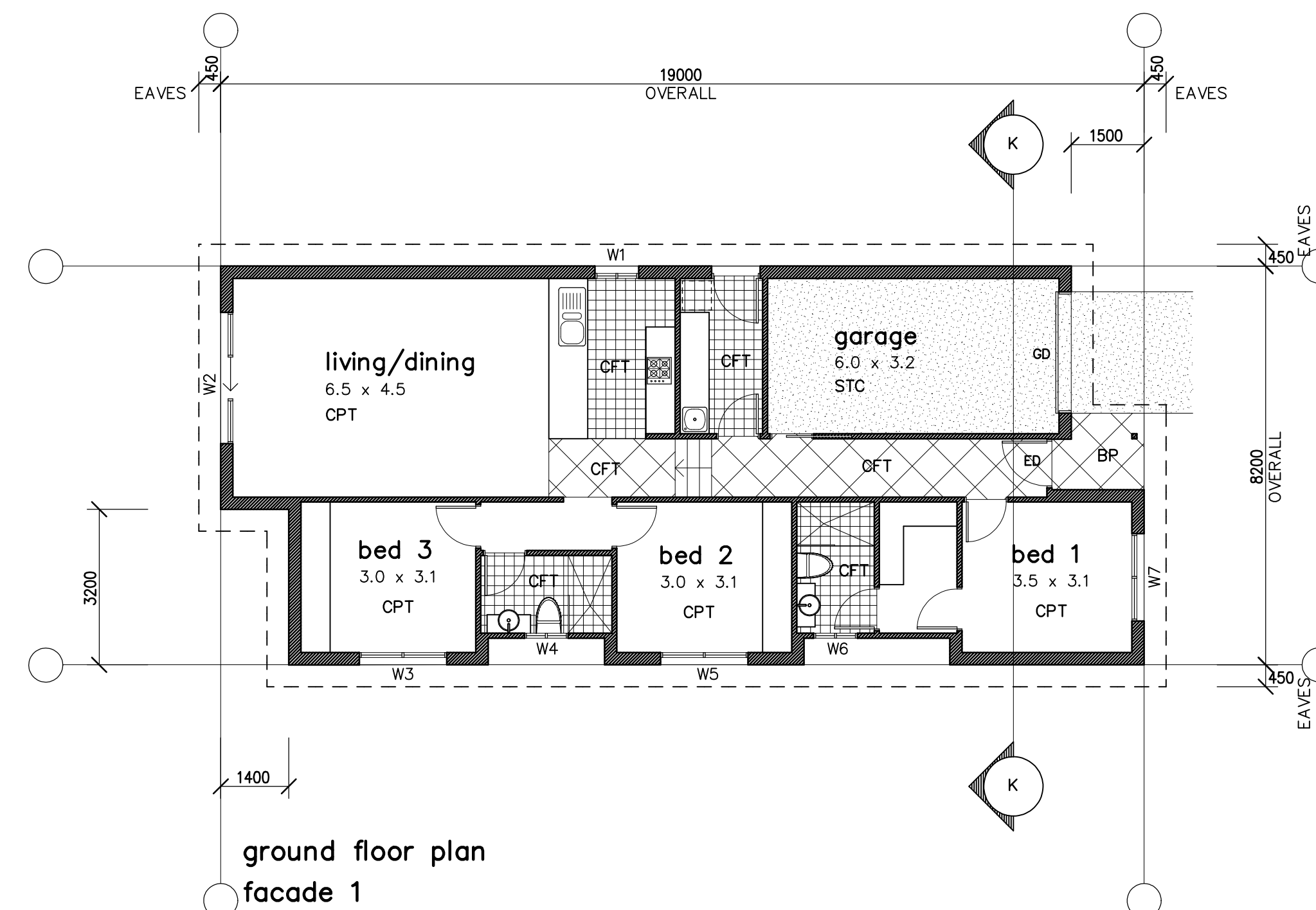
AW	AWNING
BP	BRICK PAVING
CPT	CARPET
CFT	CERAMIC FLOOR TILES
ED	ENTRY DOOR
EFL	ENTRY FLOOR LEVEL
EG	EAVES GUTTER
FB	FACE BRICK
FCL	FINISHED CEILING LEVEL
GD	GARAGE DOOR
LCL	LIVING CEILING LEVEL
LFL	LIVING FLOOR LEVEL
MR	METAL ROOFING
RT	ROOF TILE
STC	STEEL TROWELLED CONCRETE
TS	TIMBER SCREEN
UCL	UPPER CEILING LEVEL
UFL	UPPER FLOOR LEVEL
W.	WINDOW..
WB	TIMBER WEATHERBOARDS

BASIX:

FOR BASIX REQUIREMENTS REFER TO BASIX CERTIFICATE AND SPECIFICATION BLOCKS LISTED ON SHEET A01.

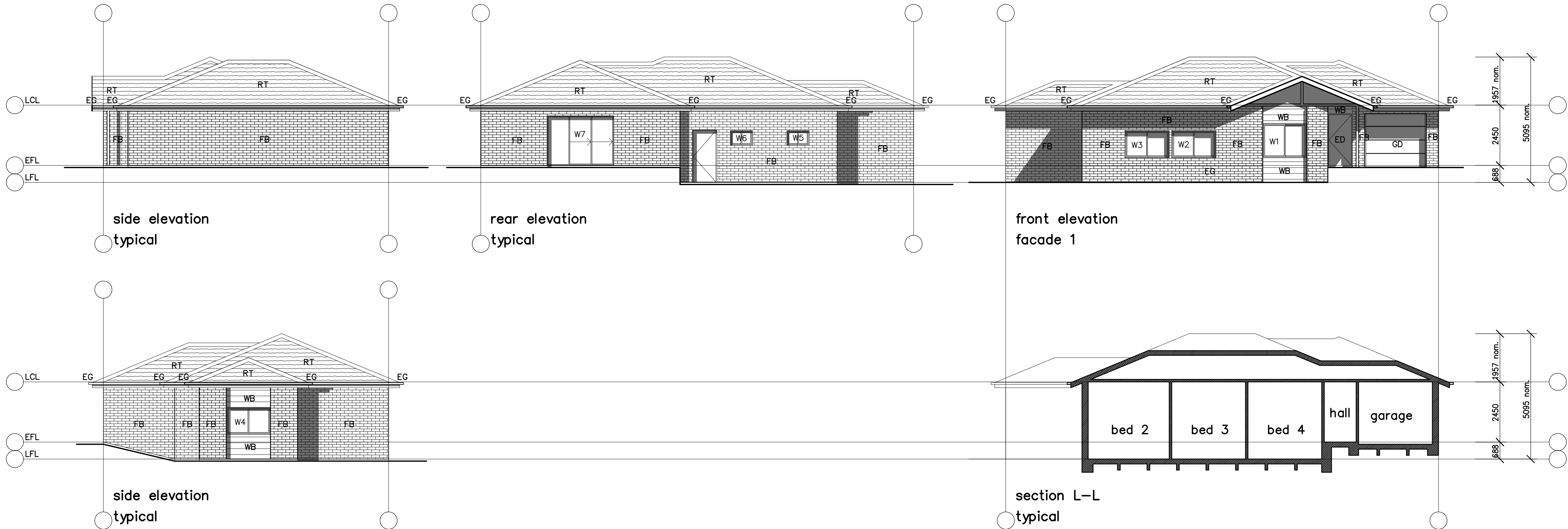
WINDOW SCHEDULE - DT11

WINDOW	SIZE (W x H)	SILL
W1	900 x 600	1500
W2	2700 x 1800	0
W3	1800 x 1100	1000
W4	900 x 600	1500
W5	1800 x 1100	1000
W6	900 x 600	1500
W7	1800 x 1400	1000



DT11 – ONE STOREY FREE STANDING 3 BEDROOM DWELLING

All dimensions are in millimeters unless otherwise shown. All levels are in metres to AHD unless otherwise noted. Work to figured dimensions. Do not scale from drawings. Check all dimensions on site and report any discrepancies to Shaddock Architects prior to construction or fabrication of any item. This drawing is to be read in conjunction with the total documentation package.							
28	AMENDED FOR DEVELOPMENT APPLICATION	12.09.2019					
27	FOR COORDINATION	16.05.2019					
26	FOR COORDINATION	9.05.2019					
No.	REVISION	DATE					
LOCATION LOT 1, DP 349727, 27–61 NIKKO ROAD, WARNERVALE							
CLIENT KINGSTON PROPERTY FUND No. 2 PTY LTD							
PROJECT HOUSING DEVELOPMENT							
DRAWING TITLE DT11 – DWELLING TYPE 11 TYPICAL PLANS & ELEVATIONS							
<table><tr><td rowspan="4"> SCALE 1:100 at A1 No. IN SET 19 of 28 PROJECT No. 1028 </td><td>DWG No.</td></tr><tr><td>A19</td></tr><tr><td></td></tr><tr><td></td></tr></table>			SCALE 1:100 at A1 No. IN SET 19 of 28 PROJECT No. 1028	DWG No.	A19		
SCALE 1:100 at A1 No. IN SET 19 of 28 PROJECT No. 1028	DWG No.						
	A19						
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SHADDOCK ARCHITECTS							



LEGEND:

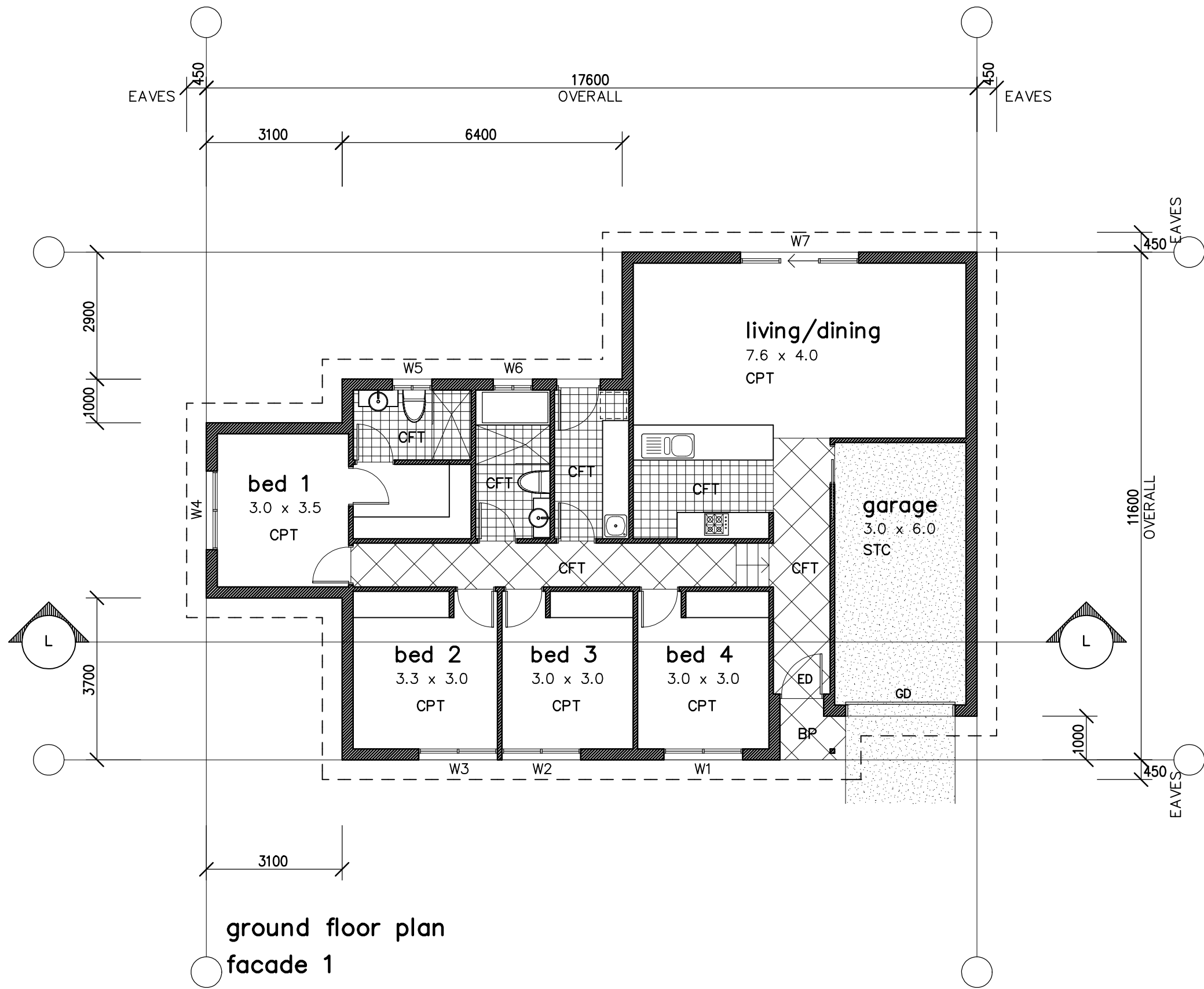
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BP	BRICK PAVING
CPT	CARPET
CFT	CERAMIC FLOOR TILES
ED	ENTRY DOOR
EFL	ENTRY FLOOR LEVEL
EG	EAVES GUTTER
FB	FACE BRICK
FCL	FINISHED CEILING LEVEL
GD	GARAGE DOOR
LCL	LIVING CEILING LEVEL
LFL	LIVING FLOOR LEVEL
MR	METAL ROOFING
RT	ROOF TILE
STC	STEEL TROWELLED CONCRETE
TS	TIMBER SCREEN
UCL	UPPER CEILING LEVEL
UFL	UPPER FLOOR LEVEL
W.	WINDOW..
WB	TIMBER WEATHERBOARDS

BASIX:

FOR BASIX REQUIREMENTS REFER TO BASIX CERTIFICATE AND SPECIFICATION BLOCKS LISTED ON SHEET A01.

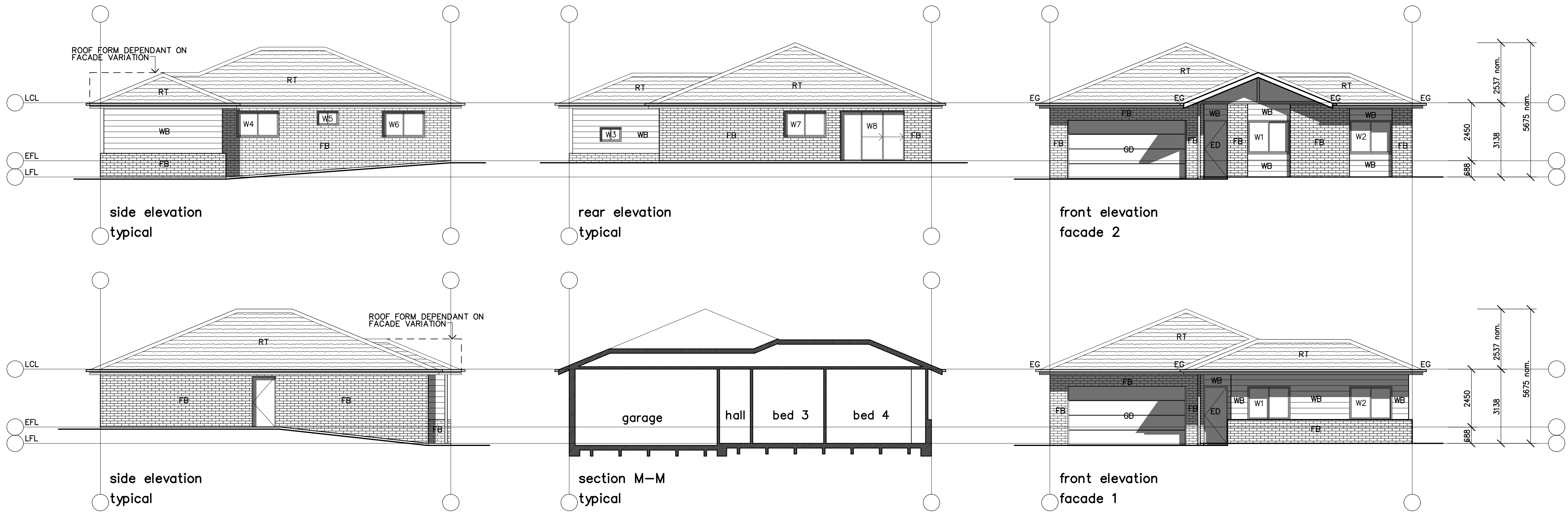
WINDOW SCHEDULE - DT12

WINDOW	SIZE (W x H)	SILL
W1	1800 x 1400	1000
W2	1800 x 1100	1000
W3	1800 x 1100	1000
W4	1800 x 1400	1000
W5	900 x 600	1500
W6	900 x 600	1500
W7	2700 x 1800	0



DT12 – ONE STOREY FREE STANDING
4 BEDROOM DWELLING

All dimensions are in millimeters unless otherwise shown. All levels are in metres to AHD unless otherwise noted. Work to figured dimensions. Do not scale from drawings. Check all dimensions on site and report any discrepancies to Shaddock Architects prior to construction or fabrication of any item. This drawing is to be read in conjunction with the total documentation package.		
28	AMENDED FOR DEVELOPMENT APPLICATION	12.09.2019
27	FOR COORDINATION	16.05.2019
26	FOR COORDINATION	9.05.2019
No.	REVISION	DATE
LOCATION LOT 1, DP 349727, 27–61 NIKKO ROAD, WARNERVALE		
CLIENT KINGSTON PROPERTY FUND No. 2 PTY LTD		
PROJECT HOUSING DEVELOPMENT		
DRAWING TITLE DT12 – DWELLING TYPE 12 TYPICAL PLANS & ELEVATIONS		
SCALE 1:100 at A1 No. IN SET 20 of 28 PROJECT No. 1028	DWG No. A20	
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	NOMINATED ARCHITECT: PETER SHADDOCK NSW REG. NO. 5288	
	SHADDOCK ARCHITECTS	



LEGEND:

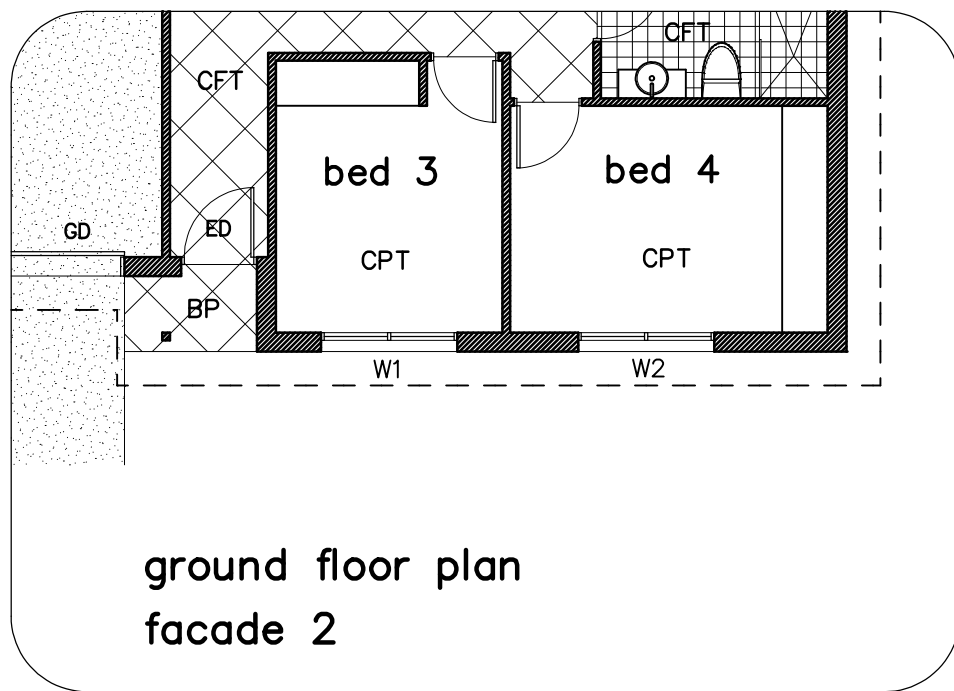
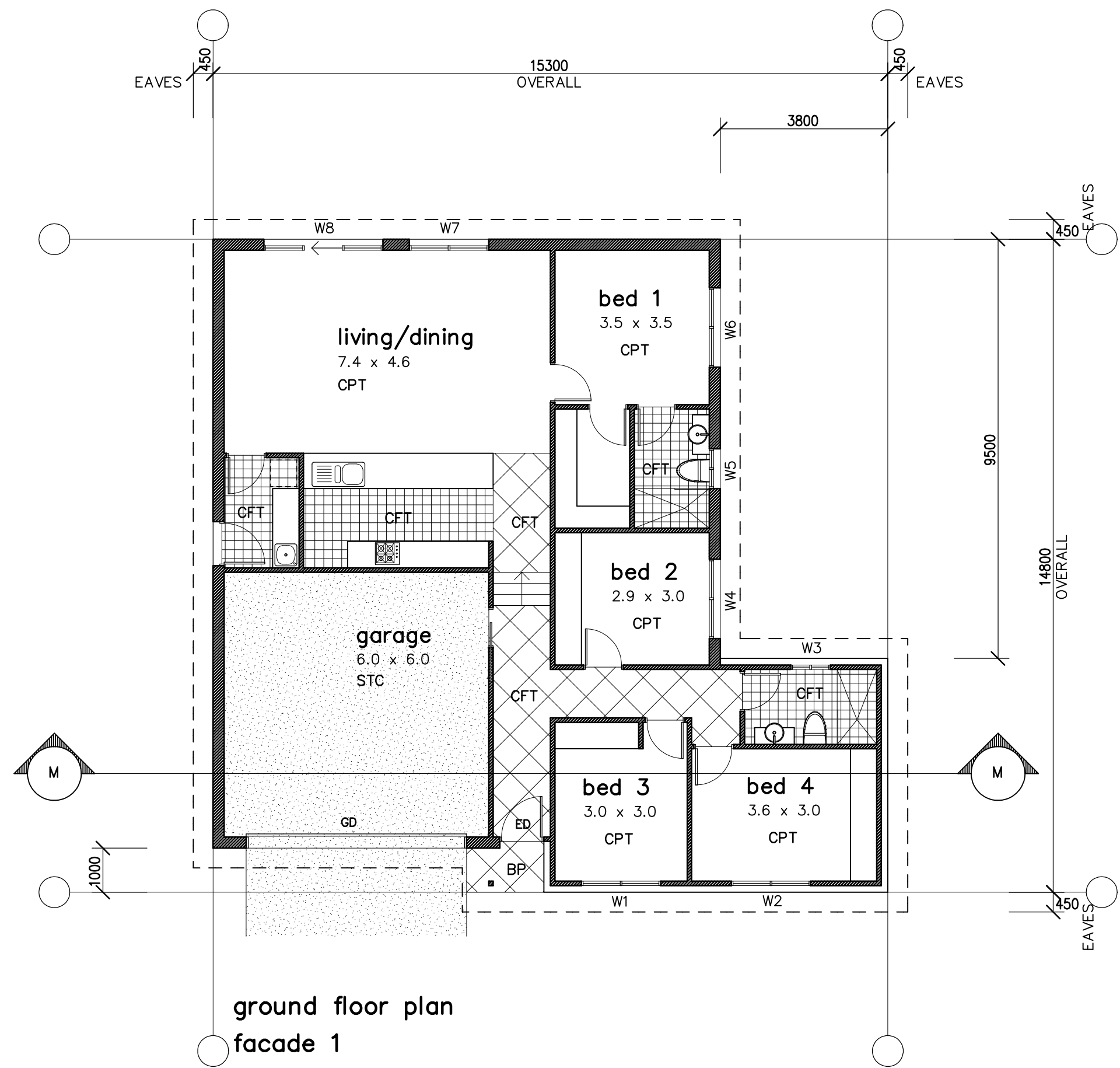
AW	AWNING
BP	BRICK PAVING
CPT	CARPET
CFT	CERAMIC FLOOR TILES
ED	ENTRY DOOR
EFL	ENTRY FLOOR LEVEL
EG	EAVES GUTTER
FB	FACE BRICK
FCL	FINISHED CEILING LEVEL
GD	GARAGE DOOR
LCL	LIVING CEILING LEVEL
LFL	LIVING FLOOR LEVEL
MR	METAL ROOFING
RT	ROOF TILE
STC	STEEL TROWELLED CONCRETE
TS	TIMBER SCREEN
UCL	UPPER CEILING LEVEL
UFL	UPPER FLOOR LEVEL
W.	WINDOW..
WB	TIMBER WEATHERBOARDS

BASIX:

FOR BASIX REQUIREMENTS REFER TO BASIX CERTIFICATE AND SPECIFICATION BLOCKS LISTED ON SHEET A01.

WINDOW SCHEDULE - DT13

WINDOW	SIZE (W x H)	SILL
W1	1800 x 1400	1000
W2	1800 x 1400	1000
W3	900 x 600	1000
W4	1800 x 1100	1000
W5	900 x 600	1000
W6	1800 x 1100	1000
W7	1800 x 1100	1000
W8	2700 x 1800	0



**DT13 – ONE STOREY FREE STANDING
4 BEDROOM DWELLING**

All dimensions are in millimeters unless otherwise shown. All levels are in metres to AHD unless otherwise noted. Work to figured dimensions. Do not scale from drawings. Check all dimensions on site and report any discrepancies to Shaddock Architects prior to construction or fabrication of any item. This drawing is to be read in conjunction with the total documentation package.

28	AMENDED FOR DEVELOPMENT APPLICATION	12.09.2019
27	FOR COORDINATION	16.05.2019
26	FOR COORDINATION	9.05.2019
o.	REVISION	DATE

LOCATION

LOT 1, DP 349727,
27–61 NIKKO ROAD, WARNERVALE

CLIENT

KINGSTON PROPERTY FUND No. 2 PTY LTD

PROJECT

HOUSING DEVELOPMENT

DRAWING TITLE

DT13 – DWELLING TYPE 13
TYPICAL PLANS & ELEVATIONS

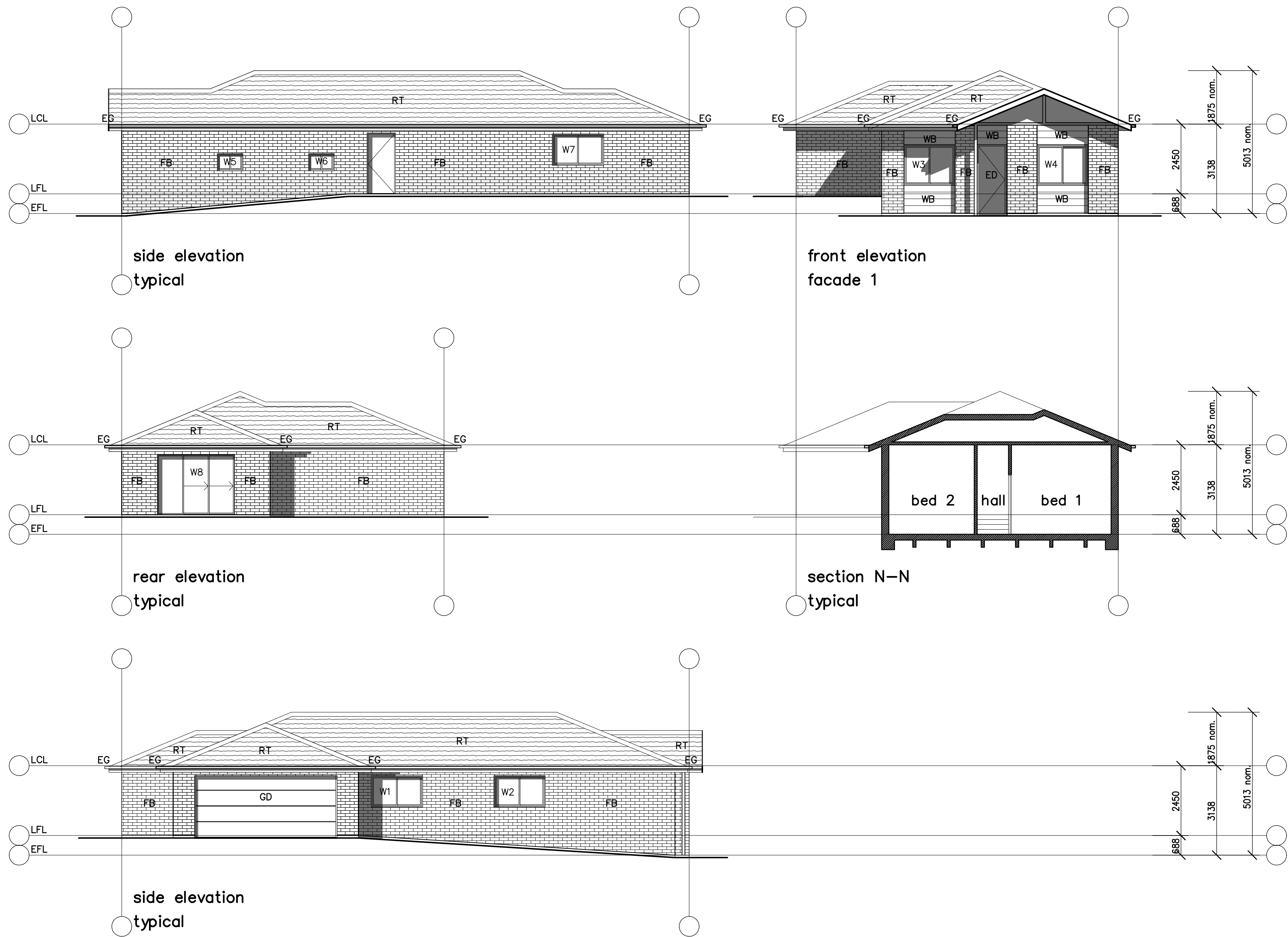
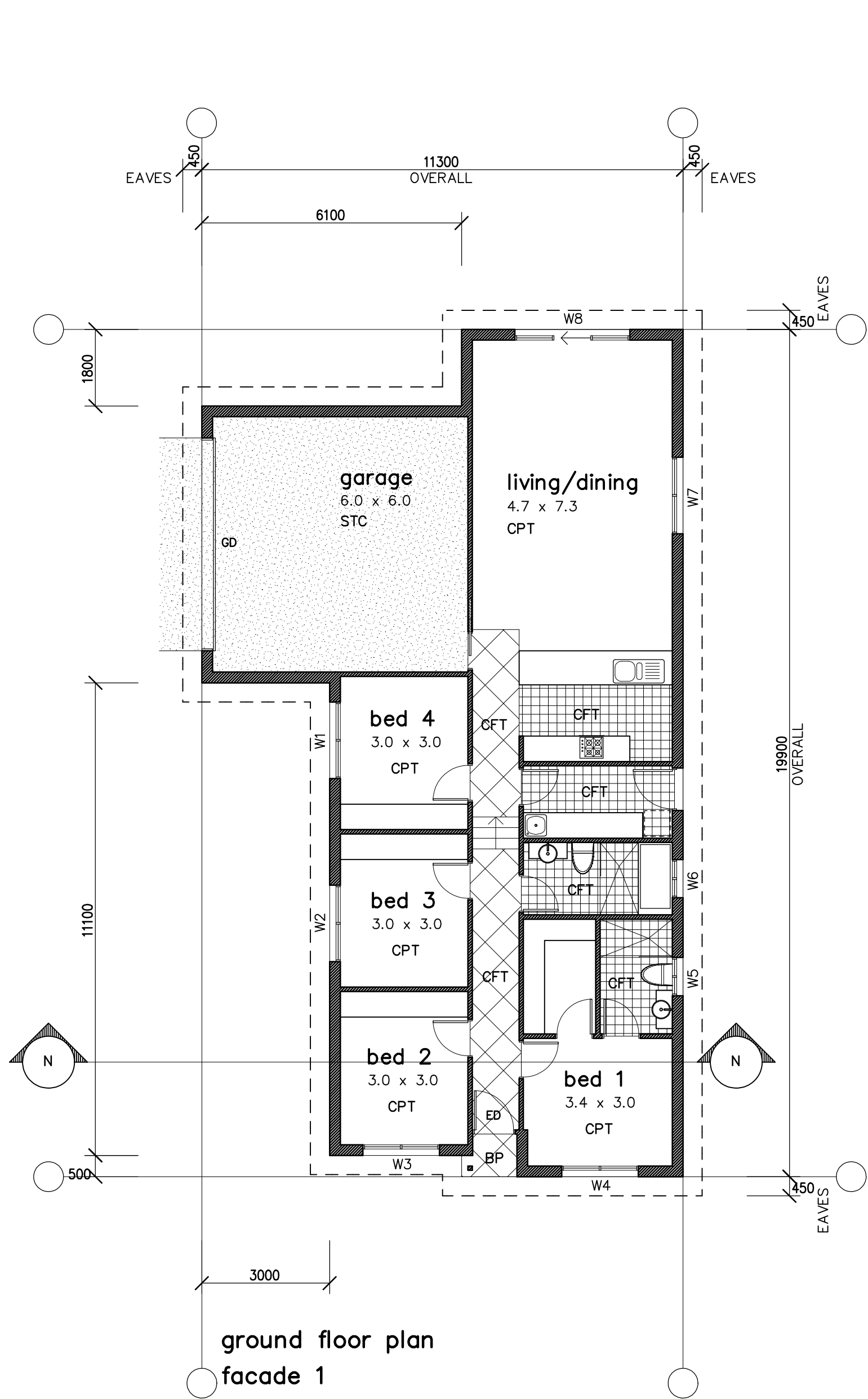
SCALE 1:100 at A1 No. IN SET 21 of 28 PROJECT No. 1028	DWG No. A21
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NOMINATED ARCHITECT: PETER SHADDOCK NSW REG. NO. 5288

SHADDOCK

A R C H I T E C T S



LEGEND:

AW	AWNING
BP	BRICK PAVING
CPT	CARPET
CFT	CERAMIC FLOOR TILES
ED	ENTRY DOOR
EFL	ENTRY FLOOR LEVEL
EG	EAVES GUTTER
FB	FACE BRICK
FCL	FINISHED CEILING LEVEL
GD	GARAGE DOOR
LCL	LIVING CEILING LEVEL
LFL	LIVING FLOOR LEVEL
MR	METAL ROOFING
RT	ROOF TILE
STC	STEEL TROWELLED CONCRETE
TS	TIMBER SCREEN
UCL	UPPER CEILING LEVEL
UFL	UPPER FLOOR LEVEL
W.	WINDOW..
WB	TIMBER WEATHERBOARDS

BASIX:

FOR BASIX REQUIREMENTS REFER TO BASIX CERTIFICATE AND SPECIFICATION BLOCKS LISTED ON SHEET A01.

WINDOW SCHEDULE - DT14

WINDOW	SIZE (W x H)	SILL
W1	1800 x 1100	1000
W2	1800 x 1100	1000
W3	1800 x 1400	1000
W4	1800 x 1400	1000
W5	900 x 600	1500
W6	900 x 600	1500
W7	1800 x 1100	1000
W8	2700 x 2100	0

All dimensions are in millimeters unless otherwise shown. All levels are in metres to AHD unless otherwise noted. Work to figured dimensions. Do not scale from drawings. Check all dimensions on site and report any discrepancies to Shaddock Architects prior to construction or fabrication of any item. This drawing is to be read in conjunction with the total documentation package.

28	AMENDED FOR DEVELOPMENT APPLICATION	12.09.2019
27	FOR COORDINATION	16.05.2019
26	FOR COORDINATION	9.05.2019
No.	REVISION	DATE

LOCATION
LOT 1, DP 349727,
27-61 NIKKO ROAD, WARNERVALE

CLIENT
KINGSTON PROPERTY FUND No. 2 PTY LTD

PROJECT
HOUSING DEVELOPMENT

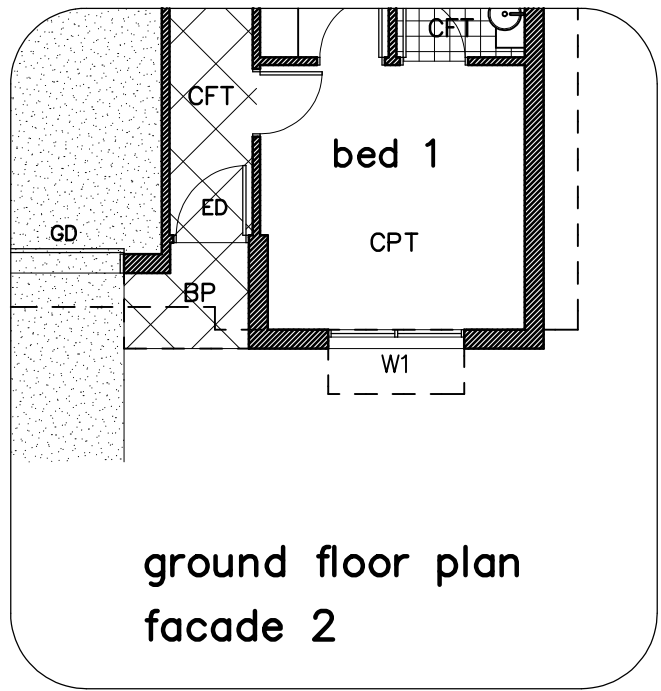
DRAWING TITLE
DT14 - DWELLING TYPE 14
TYPICAL PLANS & ELEVATIONS

SCALE 1:100 at A1	DWG No. A22
No. IN SET 22 of 28	
PROJECT No. 1028	

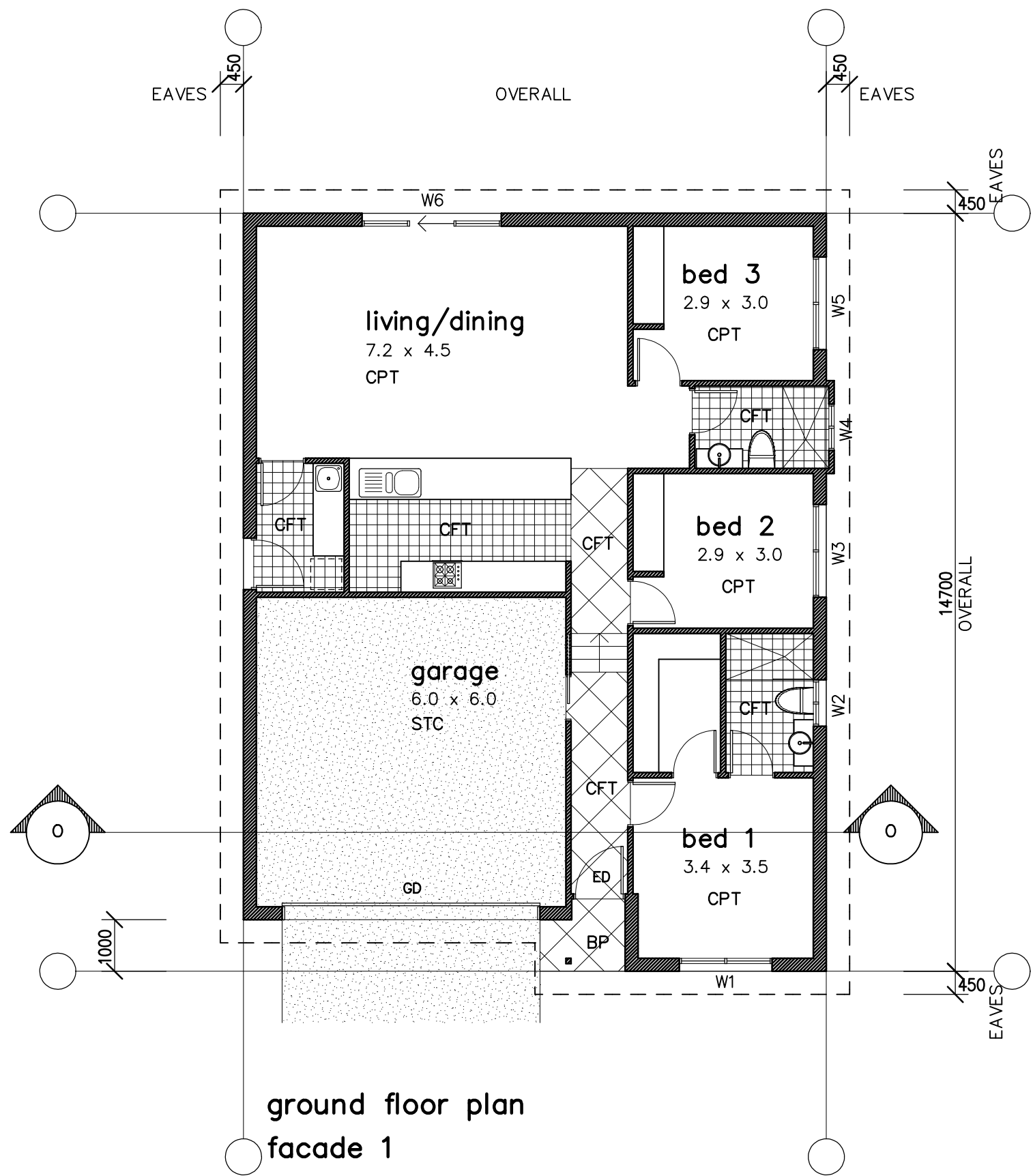
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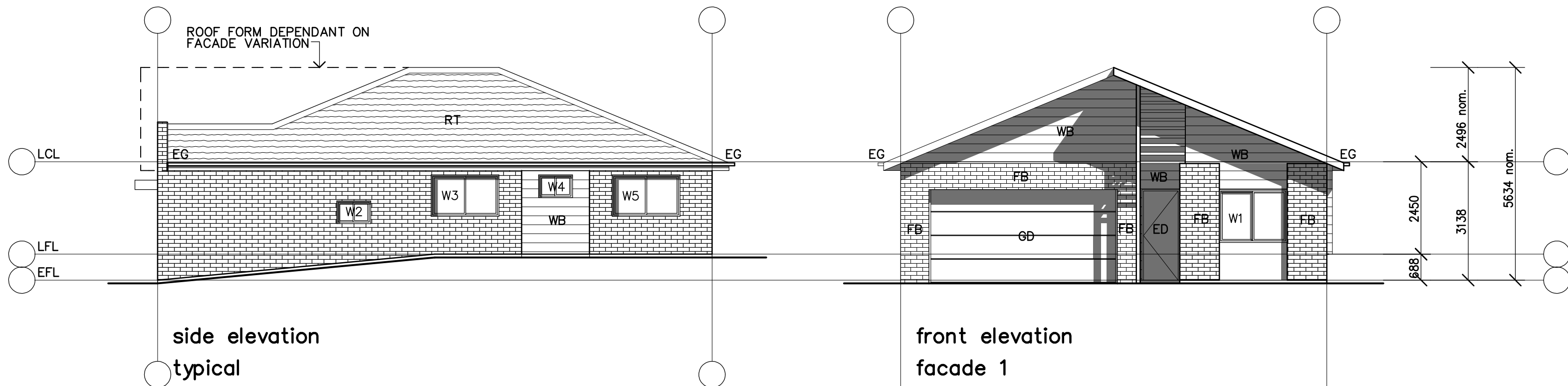
DT14 - ONE STOREY FREE STANDING
4 BEDROOM DWELLING



ground floor plan
facade 2

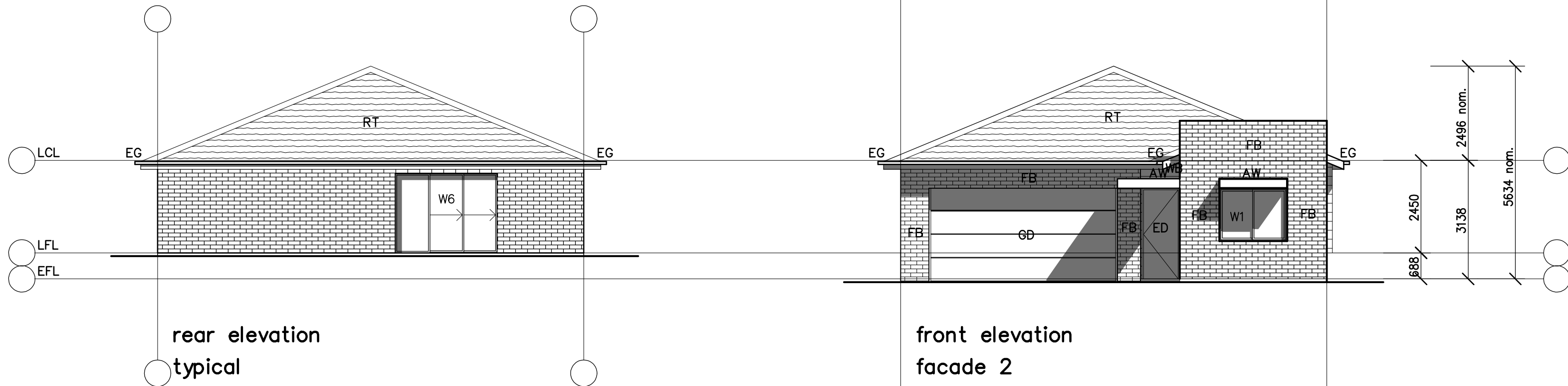


ground floor plan
facade 1



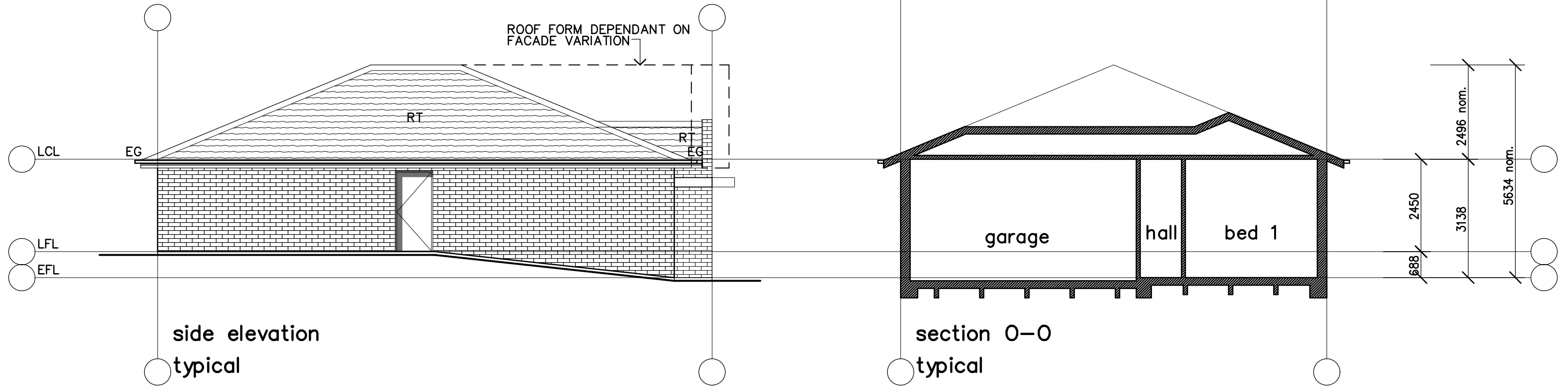
side elevation
typical

front elevation
facade 1



rear elevation
typical

front elevation
facade 2



side elevation
typical

section 0-0
typical

LEGEND:

AW	AWNING
BP	BRICK PAVING
CPT	CARPET
CFT	CERAMIC FLOOR TILES
ED	ENTRY DOOR
EFL	ENTRY FLOOR LEVEL
EG	EAVES GUTTER
FB	FACE BRICK
FCL	FINISHED CEILING LEVEL
GD	GARAGE DOOR
LCL	LIVING CEILING LEVEL
LFL	LIVING FLOOR LEVEL
MR	METAL ROOFING
RT	ROOF TILE
STC	STEEL TROWELLED CONCRETE
TS	TIMBER SCREEN
UCL	UPPER CEILING LEVEL
UFL	UPPER FLOOR LEVEL
W.	WINDOW..
WB	TIMBER WEATHERBOARDS

BASIX:

FOR BASIX REQUIREMENTS REFER TO
BASIX CERTIFICATE AND SPECIFICATION
BLOCKS LISTED ON SHEET A01.

WINDOW SCHEDULE - DT15

WINDOW	SIZE (W x H)	SILL
W1	1800 x 1400	1000
W2	900 x 600	1500
W3	1800 x 1100	1000
W4	900 x 600	1500
W5	1800 x 1100	1000
W6	2700 x 1800	0

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28	AMENDED FOR DEVELOPMENT APPLICATION	12.09.2019
27	FOR COORDINATION	16.05.2019
26	FOR COORDINATION	9.05.2019
o.	REVISION	DATE

CATION

LOT 1, DP 349727,
27-61 NIKKO ROAD, WARNERVALE

EMENT

KINGSTON PROPERTY FUND No. 2 PTY LTD

JECT

HOUSING DEVELOPMENT

AWING TITLE

DT15 - DWELLING TYPE 15
TYPICAL PLANS & ELEVATIONS

SCALE 1:100 at A1 No. IN SET 23 of 28 PROJECT No. 1028	DWG No. A23
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A R C H I T E C T S

DT15 - ONE STOREY FREE STANDING
3 BEDROOM DWELLING



LEGEND:

- AW AWNING
- BP BRICK PAVING
- CPT CARPET
- CFT CERAMIC FLOOR TILES
- ED ENTRY DOOR
- EFL ENTRY FLOOR LEVEL
- EG EAVES GUTTER
- FB FACE BRICK
- FCL FINISHED CEILING LEVEL
- GD GARAGE DOOR
- LCL LIVING CEILING LEVEL
- LFL LIVING FLOOR LEVEL
- MR METAL ROOFING
- RT ROOF TILE
- STC STEEL TROWELLED CONCRETE
- TS TIMBER SCREEN
- UCL UPPER CEILING LEVEL
- UFL UPPER FLOOR LEVEL
- W. WINDOW..
- WB TIMBER WEATHERBOARDS

BASIX:

FOR BASIX REQUIREMENTS REFER TO BASIX CERTIFICATE AND SPECIFICATION BLOCKS LISTED ON SHEET A01.

WINDOW SCHEDULE - DT16

WINDOW	SIZE (W x H)	SILL
W1	900 x 2100	0
W2	2700 x 2100	0
W3	1800 x 1100	1000
W4	1800 x 1100	1000
W5	1800 x 600	1500
W6	1800 x 1100	1000
W7	1800 x 1100	1000
W8	900 x 600	1500

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28	AMENDED FOR DEVELOPMENT APPLICATION	12.09.2019
27	FOR COORDINATION	16.05.2019
26	FOR COORDINATION	9.05.2019
No.	REVISION	DATE

LOCATION
LOT 1, DP 349727,
27-61 NIKKO ROAD, WARNERVALE

CLIENT
KINGSTON PROPERTY FUND No. 2 PTY LTD

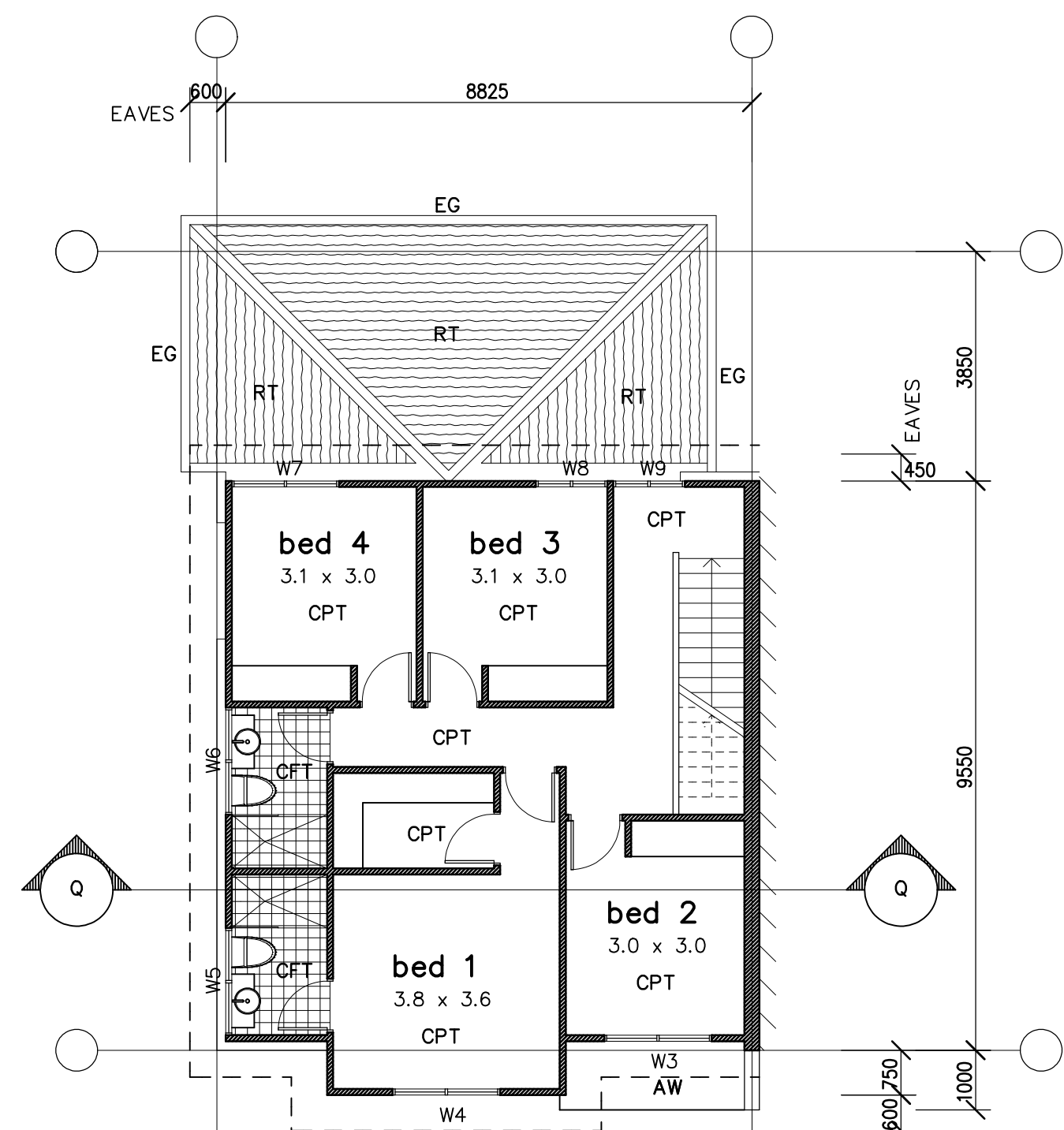
PROJECT
HOUSING DEVELOPMENT

DRAWING TITLE
DT16 - DWELLING TYPE 16
TYPICAL PLANS & ELEVATIONS

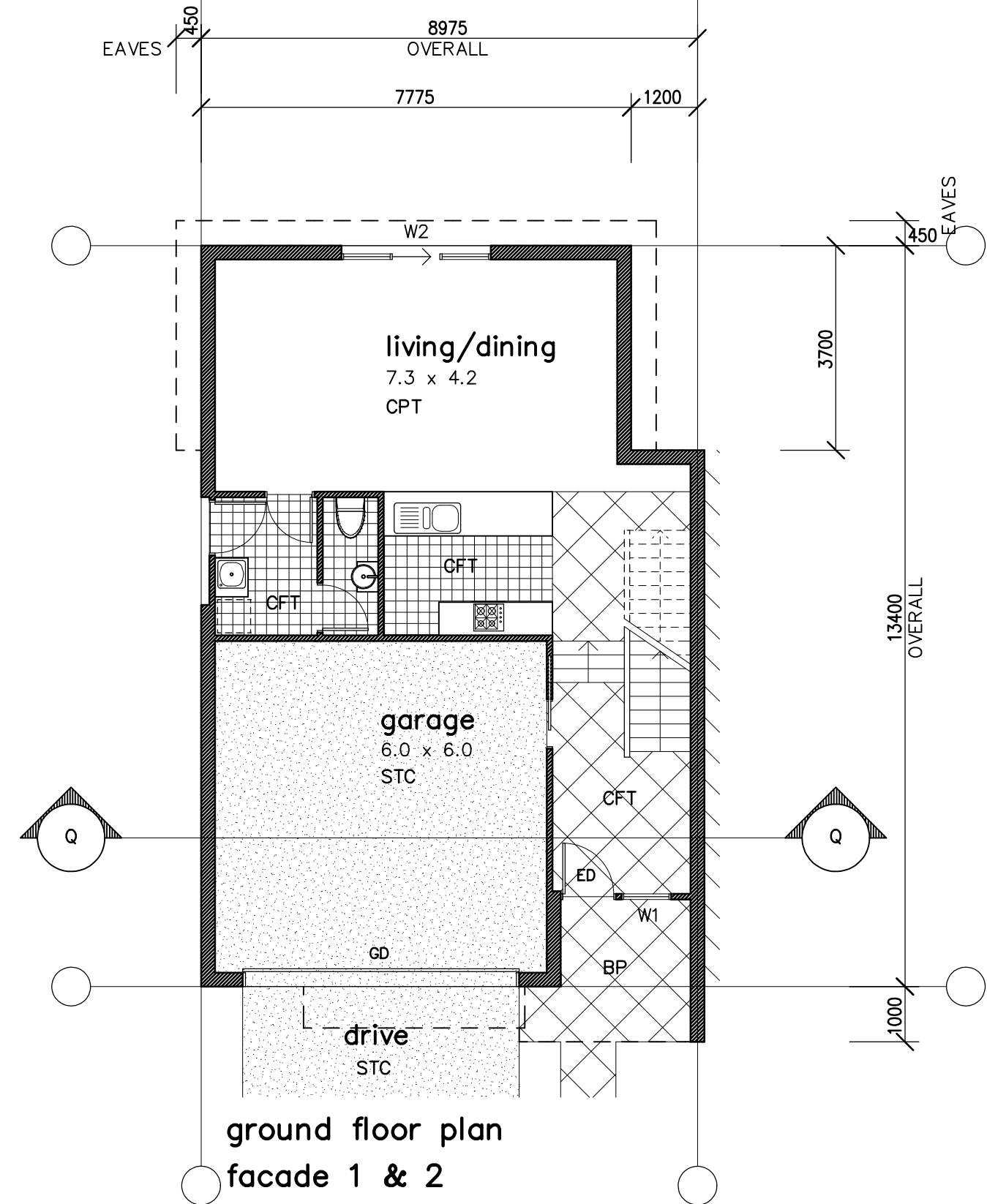
SCALE 1:100 at A1	DWG No. A24
No. IN SET 24 of 28	
PROJECT No. 1028	

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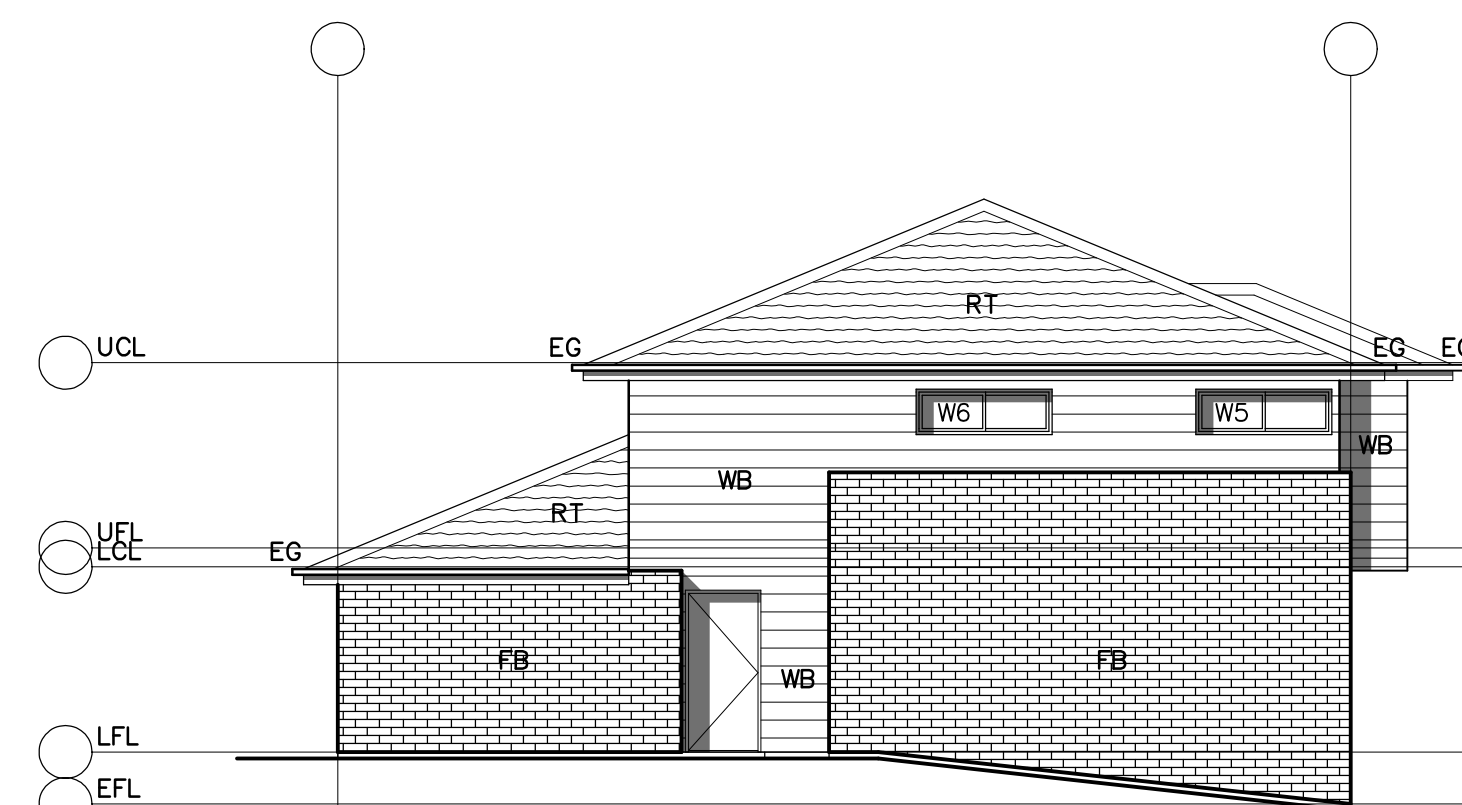
SHADDOCK
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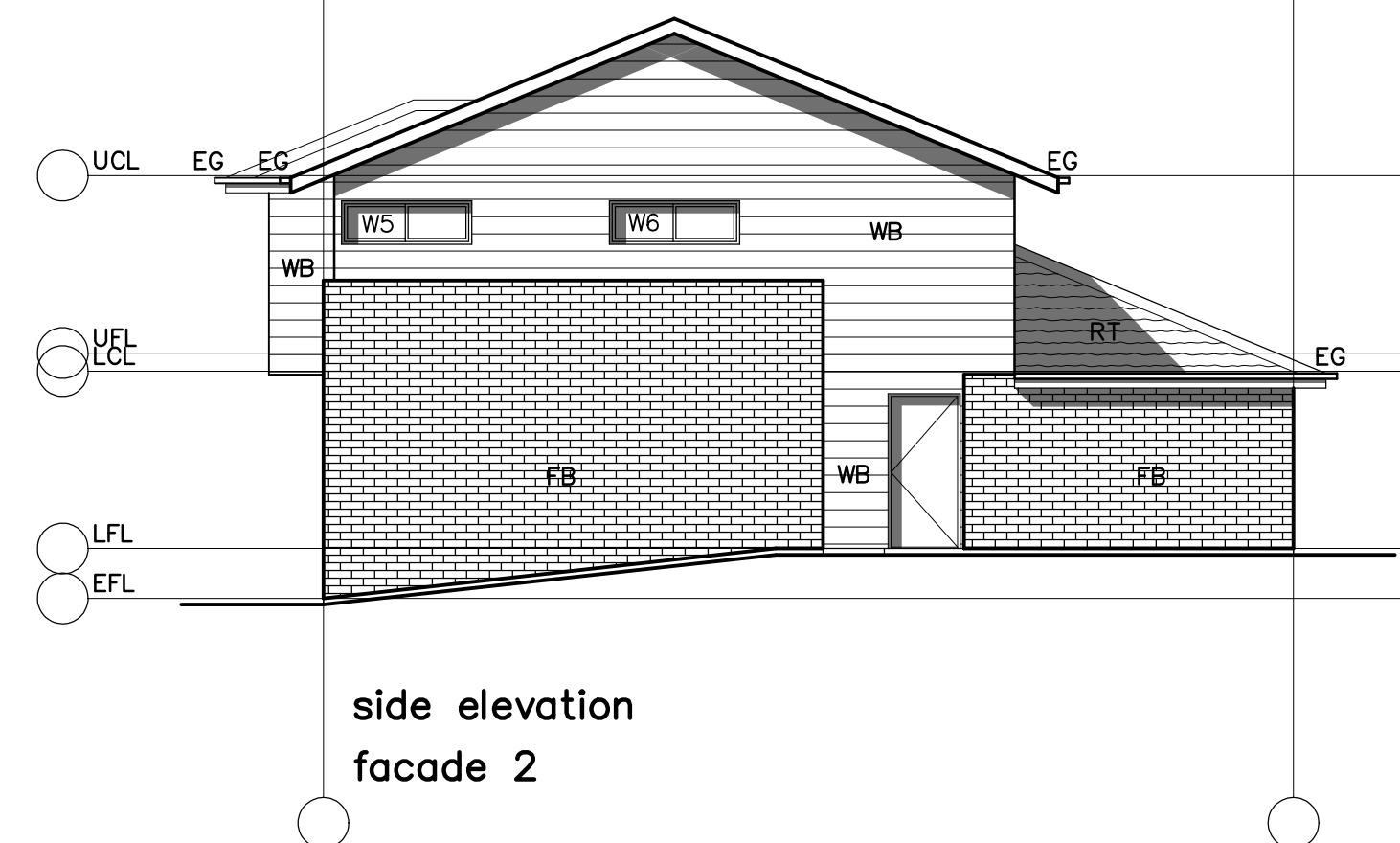
upper floor plan
facade 1 & 2



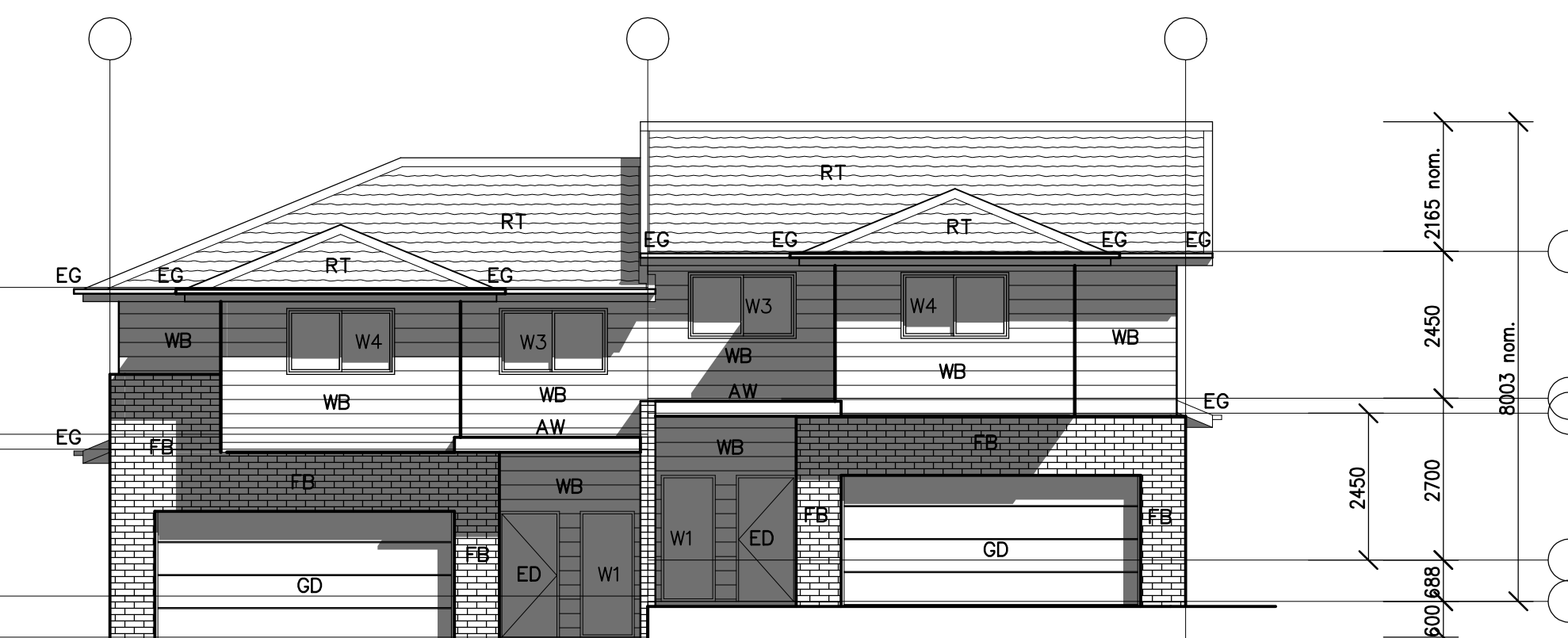
ground floor plan
facade 1 & 2



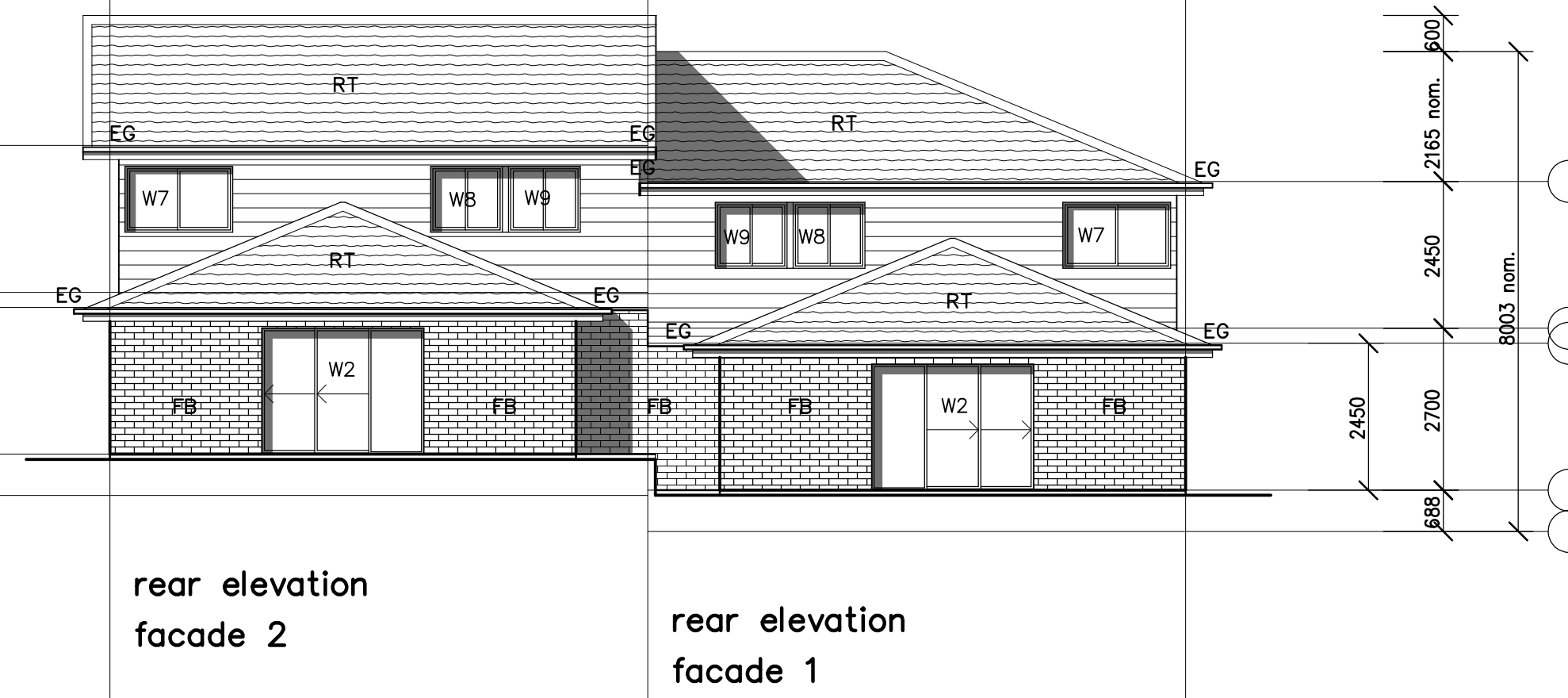
side elevation
facade 1



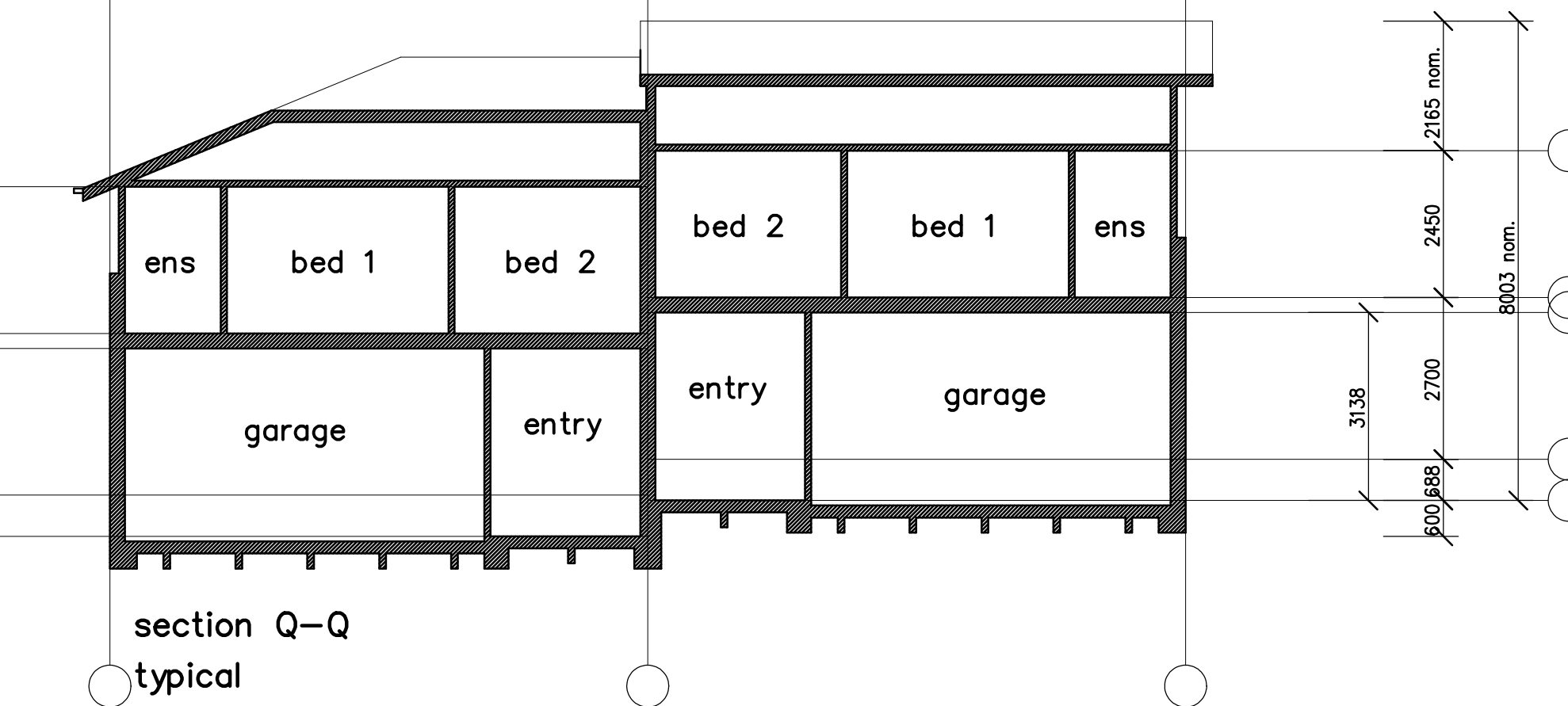
side elevation
facade 2



front elevation
facade 1



rear elevation
facade 2



section Q-Q
typical

front elevation
facade 2

rear elevation
facade 1

LEGEND:

AW	AWNING
BP	BRICK PAVING
CPT	CARPET
CFT	CERAMIC FLOOR TILES
ED	ENTRY DOOR
EFL	ENTRY FLOOR LEVEL
EG	EAVES GUTTER
FB	FACE BRICK
FCL	FINISHED CEILING LEVEL
GD	GARAGE DOOR
LCL	LIVING CEILING LEVEL
LFL	LIVING FLOOR LEVEL
MR	METAL ROOFING
RT	ROOF TILE
STC	STEEL TROWELLED CONCRETE
TS	TIMBER SCREEN
UCL	UPPER CEILING LEVEL
UFL	UPPER FLOOR LEVEL
W.	WINDOW..
WB	TIMBER WEATHERBOARDS

BASIX:

FOR BASIX REQUIREMENTS REFER TO
BASIX CERTIFICATE AND SPECIFICATION
BLOCKS LISTED ON SHEET A01.

WINDOW SCHEDULE - DT17

WINDOW	SIZE (W x H)	SILL
W1	900 x 2100	0
W2	2700 x 2100	0
W3	1800 x 1100	1000
W4	1800 x 1100	1000
W5	1800 x 600	1500
W6	1800 x 600	1500
W7	1800 x 1100	1000
W8	1200 x 1100	1000
W9	1200 x 1100	1000

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28	AMENDED FOR DEVELOPMENT APPLICATION	12.09.2019
27	FOR COORDINATION	16.05.2019
26	FOR COORDINATION	9.05.2019
No.	REVISION	DATE

LOCATION
**LOT 1, DP 349727,
27-61 NIKKO ROAD, WARNERVALE**

CLIENT
KINGSTON PROPERTY FUND No. 2 PTY LTD

PROJECT
HOUSING DEVELOPMENT

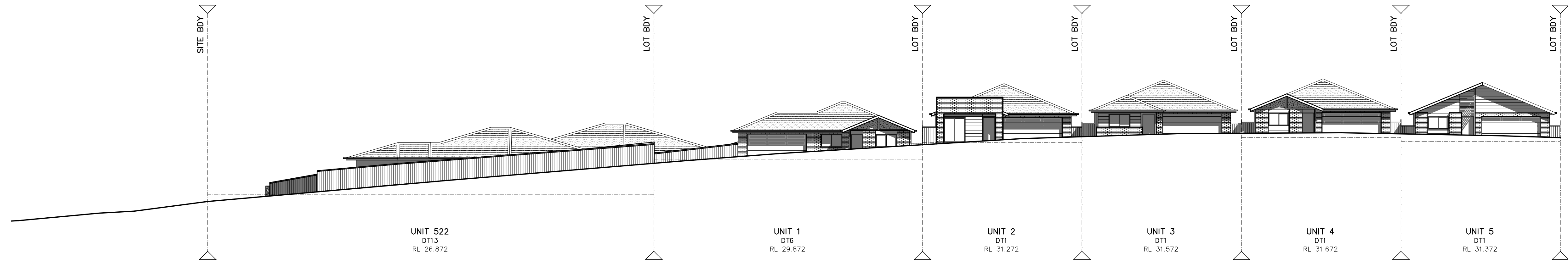
DRAWING TITLE
**DT17 - DWELLING TYPE 17
TYPICAL PLANS & ELEVATIONS**

SCALE 1:100 at A1	DWG No. A25
No. IN SET 25 of 28	
PROJECT No. 1028	

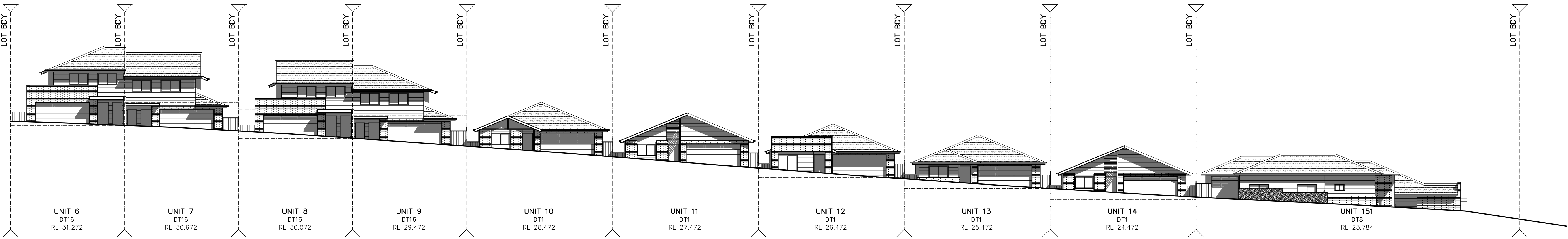
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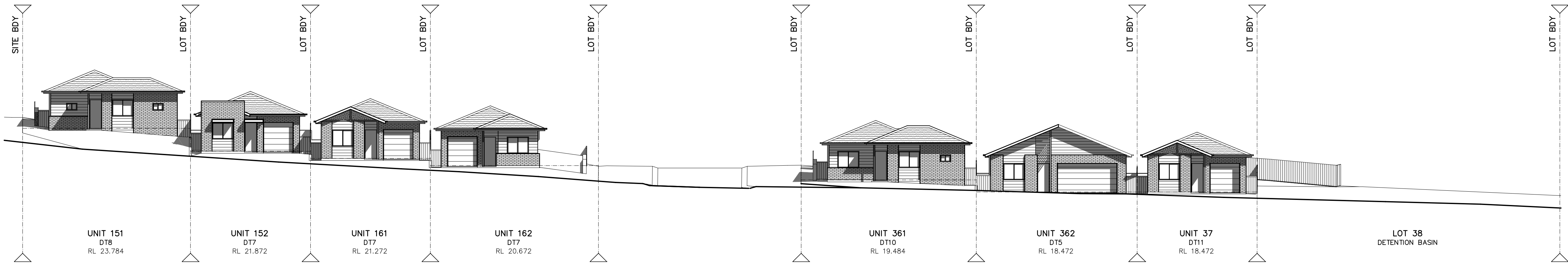
DT17 - TWO STOREY SEMI-DETACHED 4 BEDROOM DWELLING



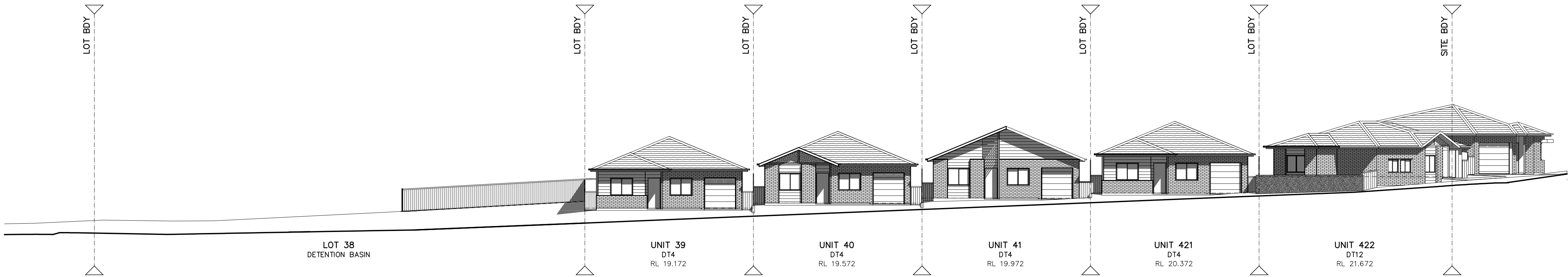
kanowna road – part south elevation



kanowna road – part south elevation



new road 3 – east elevation



new road 3 – east elevation

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28	AMENDED FOR DEVELOPMENT APPLICATION	12.09.2019
27	FOR COORDINATION	16.05.2019
26	FOR COORDINATION	9.05.2019
No.	REVISION	DATE

LOCATION

LOT 1, DP 349727,
27–61 NIKKO ROAD, WARNERVALE

CLIENT

KINGSTON PROPERTY FUND No. 2 PTY LTD

PROJECT

HOUSING DEVELOPMENT

DRAWING TITLE

STREETSCAPE ELEVATIONS 1

SCALE

1:200 at A1

No. IN SET

22 of 28

PROJECT No.

1028

DWG No.

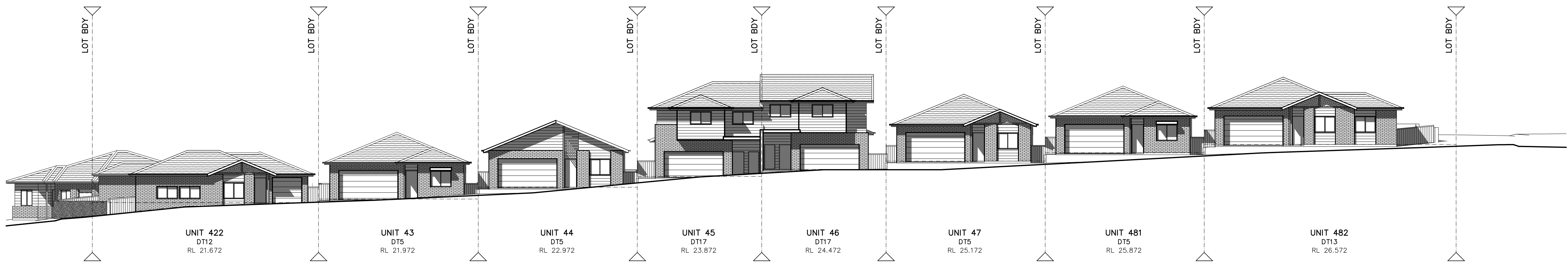
A26

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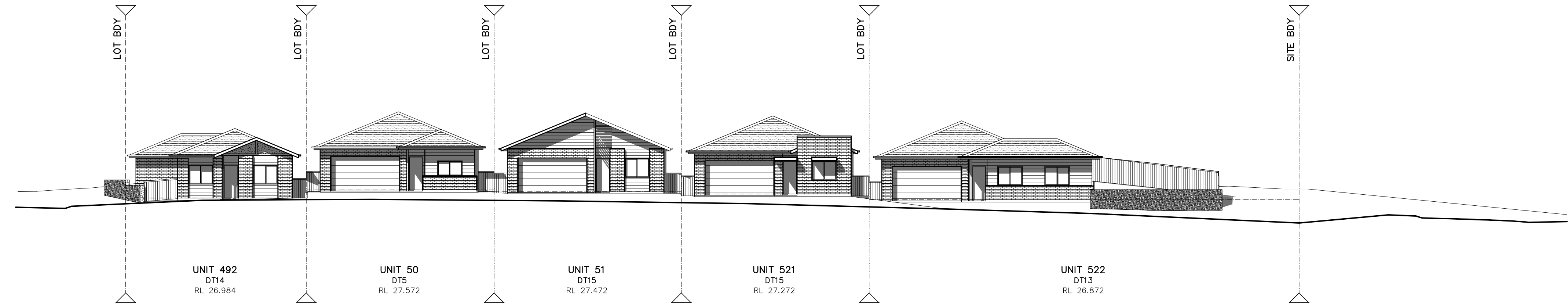
NOMINATED ARCHITECT: PETER SHADDOCK NSW REG. NO. 5288

SHADDOCK

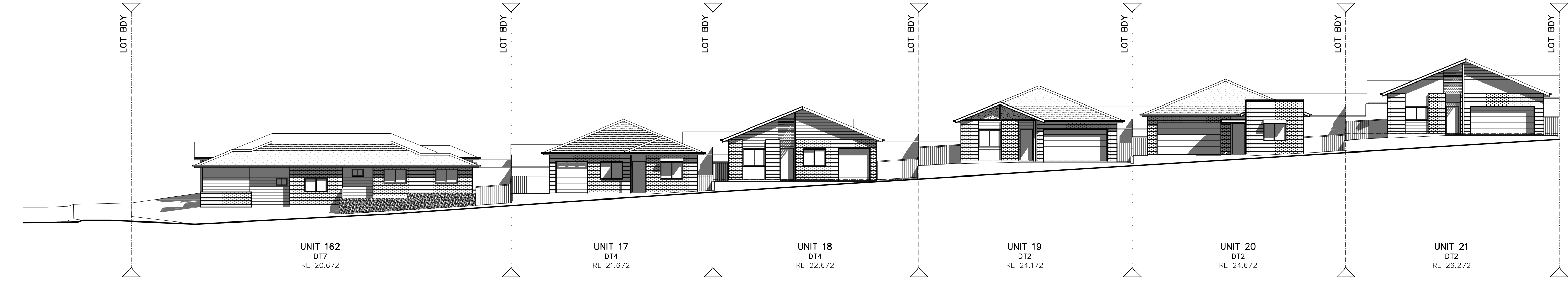
ARCHITECTS



nikko road – part north west elevation



nikko road – part north west elevation



new road 2 – part north elevation

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28	AMENDED FOR DEVELOPMENT APPLICATION	12.09.2019
27	FOR COORDINATION	16.05.2019
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No.	REVISION	DATE

LOCATION

LOT 1, DP 349727,
27–61 NIKKO ROAD, WARNERVALE

CLIENT

KINGSTON PROPERTY FUND No. 2 PTY LTD

PROJECT

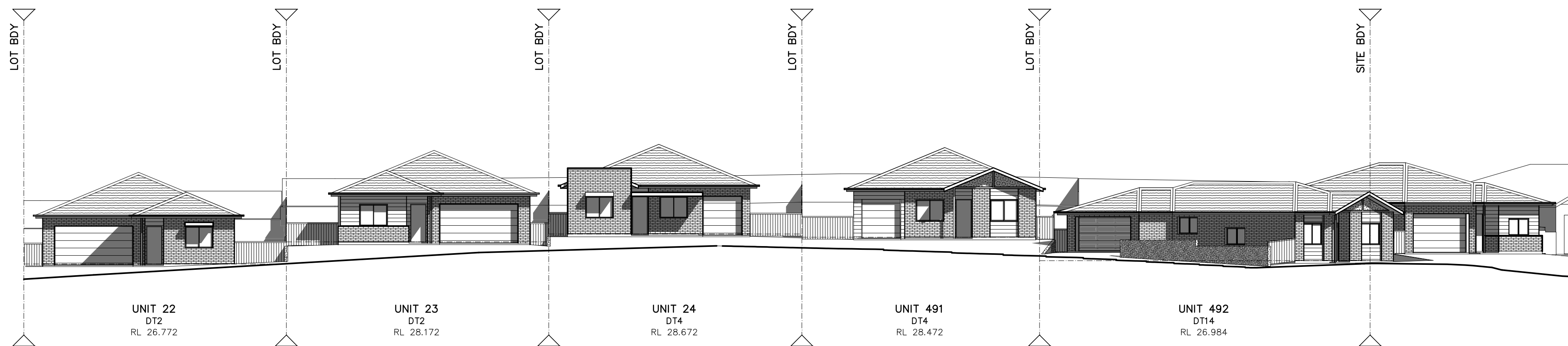
HOUSING DEVELOPMENT

DRAWING TITLE

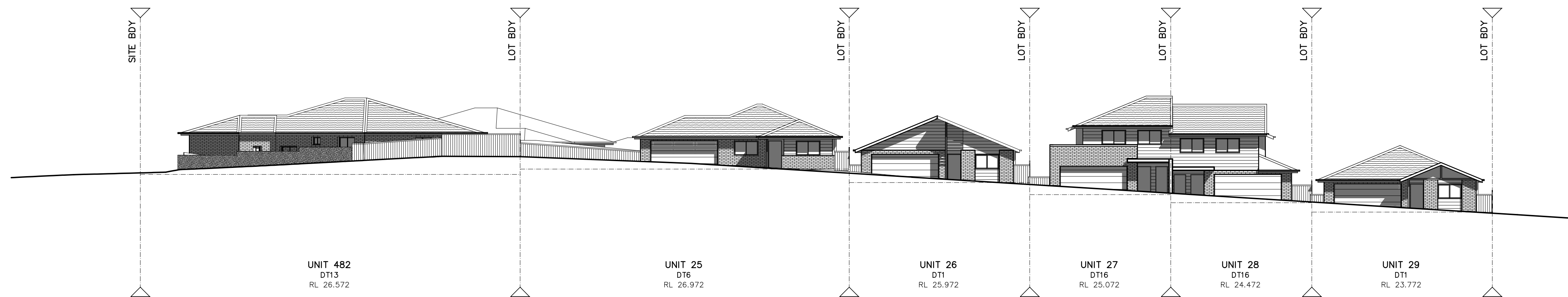
SCALE	1:200 at A1	DWG No. A27
No. IN SET	23 of 28	
PROJECT No.	1028	

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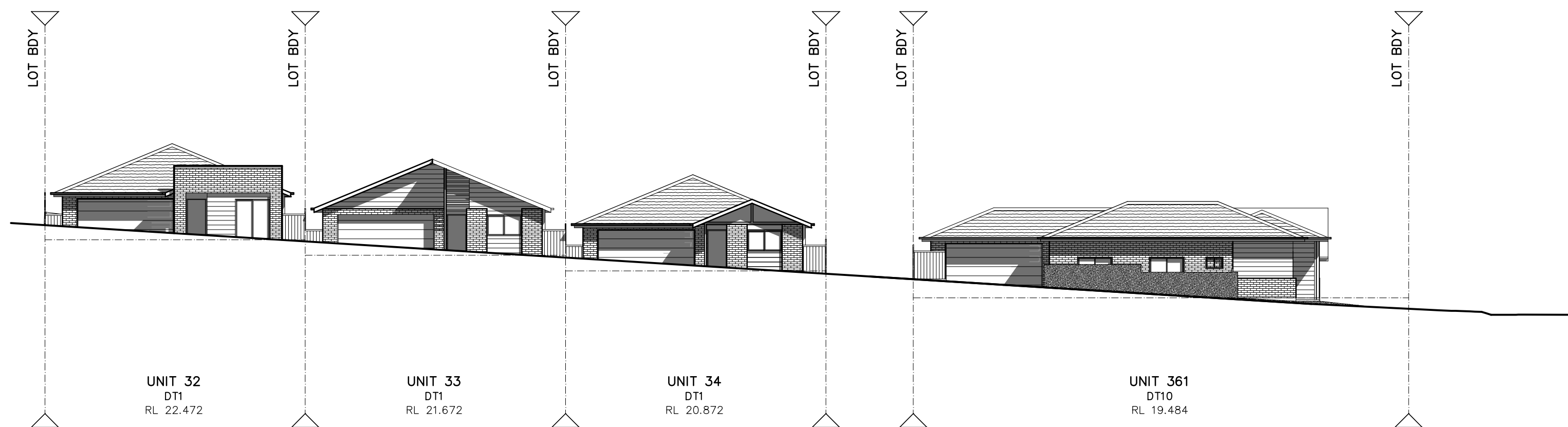
SHADDOCK
ARCHITECTS



new road 2 – part north elevation



new road 2 – part south elevation



new road 2 – part south elevation

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28	AMENDED FOR DEVELOPMENT APPLICATION	12.09.2019
27	FOR COORDINATION	16.05.2019
26	FOR COORDINATION	9.05.2019
No.	REVISION	DATE
LOCATION LOT 1, DP 349727, 27–61 NIKKO ROAD, WARNERVALE		
CLIENT KINGSTON PROPERTY FUND No. 2 PTY LTD		
PROJECT HOUSING DEVELOPMENT		
DRAWING TITLE STREETSCAPE ELEVATIONS 3		
	SCALE	DWG No.
	1:200 at A1	A28
	No. IN SET 24 of 28	
	PROJECT No. 1028	
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